



Melody Paradise, Mayor  
Russell Brewster, Mayor Pro Tem

# AGENDA

## TOWN COUNCIL

### May 11, 2015

COUNCIL MEMBERS:  
Fred Adair  
Don Funderlic  
Jane Barrett  
Don Surratt

Matthew Fielder, City Manager

**Work Session 6:30 p.m.**  
**Regular Session 7:30 p.m.**  
**Council Chamber**  
**1614 South Bowen Road**

#### WORK SESSION 6:30 P.M.

REVIEW AND DISCUSS ITEMS ON THE REGULAR AGENDA, AND CONSIDER PLACING APPROVED ITEMS ON CONSENT AGENDA.

*All consent agenda items are considered to be routine by the Council and will be enacted with one motion. There will be no separate discussion of items unless a Council Member so requests, in which event, the item will be removed from the general order of business and considered in its normal sequence.*

1. City Manager Report
  - Personnel Vacancies
  - Park Row Construction
  - PantegoFest Update
  - Storm Water Ordinance
  - Utility Billing Ordinance
2. Monthly Staff Reports
  - Finance: Monthly Investment, Interest Distribution, Fund Investment, General Fund Variance Analysis, General Fund Summarized Expenditure Variance Analysis, Water and Sewer Variance Analysis.
  - Public Safety: Public Safety Monthly Activity Report, Officer Activity Report, Criminal Investigation Report, Crime Statistics, Fire Department Monthly Activity Summary, Letters of Appreciation.
  - Public Works Department: Director's Update, Water Billing Reports.
  - Community Development: Certificate of Occupancies, Building Permits, Inspections, Construction Values, Contractor Registrations.
  - Municipal Court: Citations Issued, Warrants Issued, Monies Received.
  - Utilities: Water and Sewer Billing Analysis, Garbage and Recycle Billing Analysis.
3. Approval of Bills Payable and Purchase Orders in excess of \$1,000.  
*A summary of invoices, purchase orders, and applicable copies are included in the agenda packet.*
4. Approval and Acceptance of Minutes
  - Approval of Town Council Minutes:
    - Town Council minutes from April 27, 2015
  - Acceptance of Minutes of Boards and Commissions:
    - Planning & Zoning minutes from March 2, 2015
    - CRB minutes from March 17, 2015
    - CRB minutes from April 7, 2015

#### REGULAR SESSION 7:30 P. M.

#### CALL TO ORDER/WELCOME

INVOCATION BY: Councilmember Barrett

#### PLEDGE OF ALLEGIANCE

#### MAYOR/COUNCIL/STAFF COMMENTS OF COMMUNITY INTERESTS

#### COUNCIL LIAISON TO BOARD REPORT

- Community Relations Board
- Pantego Youth Leadership Council

#### PEDC REPORT

#### CITIZENS OPEN FORUM

This is a time for the public to address the Town Council on any subject not on this agenda. However, In accordance with the Open Meetings Act Section 551.042, the Town Council cannot discuss issues raised or make any decisions on that subject at this time. The Town Council or an appropriate Town official may make a statement of factual information or policy on the subject in response to an inquiry by a member of the public. Issues raised may be referred to Town Staff for research and possible future action.

### APPROVAL OF CONSENT AGENDA ITEMS

Approval of the Consent Agenda authorizes the City Manager to implement each item in accordance with staff recommendations and all votes on final reading will be recorded as reflected on first reading unless otherwise indicated. Public comment will be accepted on items, with the exception of those items on which a public hearing has been held and closed by Council.

### RESOLUTION

5. Discuss, direct, and consider action on Resolution 15-15 a resolution of the Town Council of the Town of Pantego, Texas, authorizing the City Manager to enter into a contract with Deltatek Engineering for a water line crossover connection on West Pioneer Parkway; providing for an effective date.
6. Discuss, direct, and consider action on Resolution 15-16 a resolution of the Town Council of the Town of Pantego, Texas, authorizing the City Manager to proceed with the Lane water well repairs in an amount not to exceed \$12,282.00; providing for an effective date.

### ORDINANCE

7. Public Hearing, discuss, direct, and consider action on Ordinance 15-757 an ordinance of the Town Council of the Town of Pantego, Texas, for Zoning Case Z-207, a proposed Special Use Permit as requested by Verizon Wireless to co-locate cellular antennas and accessory ground equipment on an existing cellular tower site at 3253 West Pioneer Parkway, West 303 Centre, Pantego, Tarrant County, Texas. The property is generally located in the Northlake Shopping Center on the North side of West Pioneer Parkway between Showplace circle and Roosevelt Drive.
8. Public Hearing, discuss, direct, and consider action on Ordinance 15-758 an ordinance of the Town Council of the Town of Pantego, Texas, for Zoning Case Z-208, a proposed Special Use Permit renewal as requested by ASE ICE to continue use of a self service ice dispensing building at 1555 S. Bowen Road, Tracts 1A1A, 1A1B and 1A5A of the William J. Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Westwood Village Shopping Center on the Southeast corner of S. Bowen Road and W. Park Row Drive.
9. Public Hearing, discuss, direct, and consider action on Ordinance 15-759 an ordinance of the Town Council of the Town of Pantego, Texas, for Zoning Case Z-209, a proposed Special Use Permit as requested by Linda Simic to establish an alcoholic beverage establishment at 2304 W. Park Row Drive #25, Tract 1A3. 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Lakewood Shopping Center on the south side of the West Park Row Drive between South Bowen Road and Milby Road.
10. Public Hearing, discuss, direct, and consider action on Ordinance 15-760 an ordinance of the Town Council of the Town of Pantego, Texas, for Zoning Case Z-210, a proposed Special Use Permit as requested by Linda Simic to sell alcohol (mixed beverage/late hours) for on-premise establishment at 2304 W. Park Row Drive #25, Tract 1A3. 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Lakewood Shopping Center on the south side of the West Park Row Drive between South Bowen Road and Milby Road.
11. Public Hearing, discuss, direct, and consider action on Ordinance 15-761 an ordinance of the Town Council of the Town of Pantego, Texas, for Zoning Case Z-211, a proposed Special Use Permit as requested by Nicole Myers to establish an alcoholic beverage establishment at 2416 West Park Row, Tracts 1A3, 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Lakewood Shopping Center on the south side of West Park Row Drive between South Bowen Road and Milby Road.

### NEW BUSINESS FOR DISCUSSION, REVIEW, APPROVAL, AND/OR DIRECT STAFF.

12. Discuss, direct, and consider action on a mid-year Budget Adjustment to the 2014/15 PEDC Budget.

### SCHEDULED EXECUTIVE SESSION ITEMS

- The Council will convene in the City Manager's Office pursuant to the Texas Government Code for an executive

session on the following items:

- 1. Pursuant to Government Code Section 551.074, to deliberate the appointment, evaluation, reassignment, duties, discipline or dismissal of a public officer or employee - Discussion of Board and Commissions appointments.

Following the Scheduled Executive Session, the Council will reconvene in public session and may take any and all action necessary concerning the Executive Session agenda item.

**COUNCIL INQUIRY**

If a member of the Council makes a spontaneous inquiry about a subject not on this agenda, then the Town Council or an appropriate Town official may make a statement of factual information or policy in response to such an inquiry. However, in accordance with Open Meetings Act Section 551.042, the Town Council cannot discuss issues raised or make any decisions on that subject at this time. Issues raised may be referred to Town Staff for research and possible future action.

**ADJOURNMENT**

**CERTIFICATION**

Prepared and posted in accordance with Chapter 551 of the Texas Government Code. I, the undersigned authority, do hereby certify that this Notice of Meeting was posted on the outside window of a display cabinet at the Town Hall of the Town of Pantego, Texas, a place of convenience and readily accessible to the general public at all times, and said Notice was posted by the following date and time: Friday, May 8, 2015 at 5:00 p.m., and remained so posted at least 72 hours before said meeting convened.



Julie Arrington, City Secretary

*Auxiliary aids and services are available to a person when necessary to afford an equal opportunity to participate in Town functions and activities. Auxiliary aids and services or accommodations should be requested forty-eight (48) hours prior to the scheduled starting time by calling the City Secretary's Office at (817) 548-5852.*

Complete Council Agenda and background information are available for review at the City Secretary's Office and on the Town's website: [www.townofpantego.com](http://www.townofpantego.com).





# City Manager's Report

**To:** Mayor Paradise and Members of the Town Council

**From:** Matt Fielder, City Manager

**Date:** May 11, 2015

## **Personnel Vacancies**

Vacancies remain for one police officer and two dispatchers, with an additional dispatcher providing notice that she will be leaving in July. The Police Department has identified prospective candidates for these positions and is in the process of performing the necessary testing and screening in order to make a formal offer of employment.

## **Park Row Water Line Project**

The contractor is still planning to begin work the week of May 11<sup>th</sup>. Staff sent notification to businesses and property owners/manager on Park Row of the impending construction work, both through flyers delivered by the Public Works Department and sent by e-mail. In addition, Pantego Christian Academy, Bailey Junior High, and the Arlington ISD Transportation Department were contacted. An informational meeting was held on May 7<sup>th</sup> at Town Hall. Three businesses attended. One expressed concern about the impact of construction on their ability to remain open.

## **PantegoFest Update**

Flair Events is working with Ben E. Keith on a sponsorship by a beer brewing company. The sponsorship would be in the amount of \$3,000, and also include all signage and banners. In addition, they are collecting bids for all of the logistical elements, such as the sounds system, stage, lighting, fencing, port-a-johns, etc. Most of those costs should be submitted to Council for approval at the next available meeting.

## **Storm Water Ordinance**

The Town recently renewed its Storm Water Pollution Prevention (SWPP) Permit with the Texas Commission on Environmental Quality (TCEQ). This is required every five years. As part of that process, the Town was required to submit a plan that included steps to maintain our compliance with the relevant state and federal laws. One of those steps is the updating of our ordinance to incorporate state and federal regulatory requirements for storm water runoff. The majority of these consist of requirements for construction sites, but others, such as not allowing pools to be drained into the storm water system without first de-chlorinating the water that will be new to our residents. The draft ordinance has been reviewed by the Town Attorney and placed in Drop Box for Council to review in advance. It will be brought back at the June 8<sup>th</sup> meeting for consideration.



# City Manager's Report

## **Utility Billing Ordinance**

At Council's direction, staff has developed an ordinance that would pass on the fees for the Northern Trinity Groundwater Conservation District to water customers. It also addresses some utility billing issues, giving some flexibility to staff to address complaints about billing and to help collect past due bills. The draft ordinance has been reviewed by the Town Attorney and placed in Drop Box for council to review in advance. It will be brought back at the June 8<sup>th</sup> meeting for consideration.



# AGENDA BACKGROUND

**AGENDA ITEM:** Monthly Staff Reports

**Date:** May 11, 2015

---

**PRESENTER:**

Matt Fielder, City Manager

**BACKGROUND:**

Staff reports on departmental activities on a monthly basis.

**FISCAL IMPACT:**

N/A

**RECOMMENDATION:**

Staff recommends approval of the reports as presented.

**ATTACHMENTS:**

Finance Department Reports  
Public Safety Reports  
Public Works Reports  
Community Development Reports  
Municipal Court Reports  
Utilities Reports

Director's Review: *JCA*  
City Manager's Review: \_\_\_\_\_



## ABOUT THIS REPORT

This report has been prepared by the Town of Pantego's Finance department. It is intended to provide users (internal and external) with information regarding the Town's financial position and economic activity. This report includes information for the period ending April 30, 2015.

The report is presented in four sections:

1. The **Monthly Investment Report** provides a summary of the Town's investment portfolio, interest earnings and a brief market outlook including the monthly cash and investment report. This report also includes a narrative of key operating trends affecting the fluctuation of cash inflows and outflows.
2. The **Budget Variance Analysis Report** for the General Fund and the Water and Sewer Fund provides current month and year-to-date budget variances for key revenue sources and expenditures by the function/department that comprises the General and Water and Sewer Funds.
3. The **Notes to the Budget Variance Analysis Report** contains a high level summary of the General and Water and Sewer Operating Funds using graphic illustrations. Narrative disclosures are included to highlight changes and fluctuations in key revenue sources and overall departmental expenditures. This section also provides a comparison of the current fiscal year budget projections to actual and comparisons of current year actual to results from the prior fiscal year.
4. The **Budget Summary of All Funds Report** contains an overview of all the budgeted funds of the Town. This section provides a comparison of budgeted revenues and expenditures to year-to-date actual results for each budgeted fund of the Town.

Please contact me if you would like additional information, and/or have comments or suggestions regarding this monthly report.

Ariel Carmona, CGFO  
Finance Director  
acarmona@townofpantego.com  
(817)617-3707

THIS PAGE INTENTIONALLY LEFT BLANK



**Town of Pantego  
Monthly Investment Report  
As of April 30, 2015**

Book Value of Pool Account, April 1, 2015 \$ 5,345,016

Security	Purchase Date	Par	Maturity Date	Yield	Price
Texpool	4/1/2015	\$ 5,345,016	4/30/2015	0.05%	\$ 1.00
Certificate of Deposits	2/26/2015	\$ 907,309	2/23/2017	0.69%	\$ 907,309

Security	Beginning Book Value	Beginning Market Value	Net Change in Market Value	Ending Book Value	Ending Market Value
Texpool	\$ 5,345,016	\$ 5,345,176	\$ (82,300)	\$ 5,262,613	\$ 5,262,876
Certificate of Deposits	907,309	907,309	0.00	907,309	907,309
<b>Total</b>	<b>\$ 6,252,325</b>	<b>\$ 6,252,485</b>	<b>\$ (82,300)</b>	<b>\$ 6,169,922</b>	<b>\$ 6,170,185</b>

**Pantego Economic Development Corp.  
Monthly Investment Report  
As of April 30, 2015**

Book Value of Pool Account, April 1, 2015 \$ 285,391

Security	Purchase Date	Par	Maturity Date	Yield	Price
Texpool	4/1/2015	\$ 285,391	4/30/2015	0.05%	\$ 1.00

Security	Beginning Book Value	Beginning Market Value	Net Change in Market Value	Ending Book Value	Ending Market Value
Texpool	\$ 285,391	\$ 285,400	\$ 78,941	\$ 364,323	\$ 364,341
<b>Total</b>	<b>\$ 285,391</b>	<b>\$ 285,400</b>	<b>\$ 78,941</b>	<b>\$ 364,323</b>	<b>\$ 364,341</b>

The above investment information is in compliance with Chapter 3.08 of the Pantego Municipal Code, the Public Funds Investment Act and conforms to Generally Accepted Accounting Principles.

  
Matthew Fielder  
City Manager

  
Arnel Carmona  
Finance Director

THIS PAGE INTENTIONALLY LEFT BLANK



# Interest Distribution

<b>Deposit</b>	<b>Withdrawal</b>	<b>Transfer</b>	<b>Multi Transaction</b>	<b>Vendor P</b>
<b>Reports</b>	<b>Report Scheduler</b>	<b>Report Access</b>	<b>Statements</b>	<b>Inqu</b>
			<b>Help / Contact Us</b>	<b>Update</b>

## Interest Distribution Report

Interest Distribution Report

Generated: 05/01/2015  
Settlement Date: 04/30/2015

Location : 79038  
Location Name : TOWN OF PANTEGO

Only accounts earning interest during the prior month will show on this report. Those account balances can be viewed on the Summary Statement available under the Statements tab.

Pool Number/Name	Account Number	Account Name	Interest Amount	Month End Balance
449/	7903800001	GENERAL FUND	\$227.53	\$5,262,612.81
449/	7903800002	PANTEGO ECONOMIC DEVELOPMENT CORP	\$14.89	\$364,322.75
		TexPool Totals:	\$242.42	\$5,626,935.56
		Locations Totals	\$242.42	\$5,626,935.56

Only accounts earning interest during the prior month will show on this report. Those account balances can be viewed on the Summary Statement available under the Statements tab.



## Pool Information

Location: 79038  
TOWN OF PANTEGO

### TexPool

Average monthly rate for April	0.0524%
Average monthly allocation factor for April	0.000001435
<b>Information as of</b>	April 30, 2015
Current Interest Rate <sup>(3)</sup>	0.0545%
Allocation Factor	0.000001493
7 day Net Yield	0.05%
Current Pool Balance	\$14,557,498,831.49
Current Weighted Average Maturity <sup>(1)</sup>	46 days
Current Weighted Average Maturity <sup>(2)</sup>	75 days
Market Value per Share	1.00005

### TexPool Prime

Average monthly rate for April	0.0984%
Average monthly allocation factor for April	0.000002696
<b>Information as of</b>	April 30, 2015
Current Interest Rate <sup>(3)</sup>	0.1052%
Allocation Factor	0.000002881
7 day Net Yield	0.10%
Current Pool Balance	\$1,279,142,606.45
Current Weighted Average Maturity <sup>(1)</sup>	39 days
Current Weighted Average Maturity <sup>(2)</sup>	51 days
Market Value per Share	1.00002

### Contact Information

Participant Services 1-866-839-7665

Performance data quoted represents past performance which is no guarantee of future results. Investment return will fluctuate. The value of an investment when redeemed may be worth more or less than the original cost. Current performance may be higher or lower than performance stated.

TOWN OF PANTEGO  
 CASH & INVESTMENTS REPORT  
 AS OF: APRIL 30TH, 2015

FUND-ACCT. NO.	ACCOUNT NAME	CASH	CD'S	DISC NOTES	TEXPOOL	FUND TOTAL
GENERAL FUND						
100-0-000-102.00	CASH	266,734.61				
100-0-000-102.10	PETTY CASH	500.00				
100-0-000-102.20	CHANGE FUND - COURT	300.00				
100-0-000-102.30	CHANGE FUND - CITY HALL	105.00				
100-0-000-202.00	CERT OF DEPOSIT		252,755.95			
100-0-000-203.00	DISC NOTE #1			0.00		
100-0-000-204.00	TEXPOOL				2,068,560.26	
	TOTAL 100-GENERAL FUND	267,639.61	252,755.95	0.00	2,068,560.26	2,588,955.82
LONG TERM DEBT FUND						
	TOTAL 150-LONG TERM DEBT FUND	0.00	0.00	0.00	0.00	0.00
FIXED ASSETS FUND						
	TOTAL 175-FIXED ASSETS FUND	0.00	0.00	0.00	0.00	0.00
WATER AND SEWER FUND						
200-0-000-102.00	CASH	125,411.14				
200-0-000-102.10	PETTY CASH	0.00				
200-0-000-202.00	CERTIFICATE OF DEPOSIT		251,751.37			
200-0-000-203.00	DISCOUNT NOTE #1			0.00		
200-0-000-204.00	TEXPOOL				160,905.82	
	TOTAL 200-WATER AND SEWER FUND	125,411.14	251,751.37	0.00	160,905.82	538,068.33
CAPITAL PROJECTS FUND						
300-0-000-102.00	CASH	0.00				
300-0-000-202.00	CERT OF DEPOSITS		0.00			
300-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
300-0-000-204.00	TEXPOOL				( 7,567.23)	
	TOTAL 300-CAPITAL PROJECTS FUND	0.00	0.00	0.00	( 7,567.23)	( 7,567.23)
INTEREST & SINKING FUND						
400-0-000-102.00	CASH	0.00				
400-0-000-202.00	CERT OF DEPOSITS		100,700.51			
400-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
400-0-000-204.00	TEXPOOL				213,418.26	
	TOTAL 400-INTEREST & SINKING FUND	0.00	100,700.51	0.00	213,418.26	314,118.77
STREET IMPVMT CONST FUND						
500-0-000-102.00	CASH	0.00				
500-0-000-202.00	CERT OF DEPOSITS		251,751.37			
500-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
500-0-000-204.00	TEXPOOL				446,065.30	
	TOTAL 500-STREET IMPVMT CONST FUND	0.00	251,751.37	0.00	446,065.30	697,816.67

TOWN OF PANTEGO  
CASH & INVESTMENTS REPORT  
AS OF: APRIL 30TH, 2015

FUND-ACCT. NO.	ACCOUNT NAME	CASH	CD'S	DISC NOTES	TEXPOOL	FUND TOTAL
PARK ROW PROJ FUND						
550-0-000-204.00	TEXPOOL				1,500,049.25	
	TOTAL 550-PARK ROW PROJ FUND	0.00	0.00	0.00	1,500,049.25	1,500,049.25
TRUST & AGENCY FUND						
650-0-000-102.00	CASH	73,935.52				
650-0-000-202.00	CERT OF DEPOSITS		0.00			
650-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
650-0-000-204.00	TEXPOOL				25,330.42	
	TOTAL 650-TRUST & AGENCY FUND	73,935.52	0.00	0.00	25,330.42	99,265.94
WATER/SEWER CONSTRUCTION						
700-0-000-102.00	CASH	0.00				
700-0-000-202.00	CERT OF DEPOSITS		0.00			
700-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
700-0-000-204.00	TEXPOOL				326,176.42	
	TOTAL 700-WATER/SEWER CONSTRUCTION	0.00	0.00	0.00	326,176.42	326,176.42
INFRASTRUCTURE IMPVMT						
750-0-000-102.00	CASH	0.00				
750-0-000-202.00	CERT OF DEPOSITS		0.00			
750-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
750-0-000-204.00	TEXPOOL				394,065.80	
	TOTAL 750-W/S INFRASTRUCTURE FUND	0.00	0.00	0.00	394,065.80	394,065.80
PAYROLL IMPREST FUND						
777-0-000-102.00	CASH	2,636.77				
	TOTAL 777-PAYROLL IMPREST FUND	2,636.77	0.00	0.00	0.00	2,636.77
COURT SECURITY FUND						
800-0-000-102.00	CASH	0.00				
800-0-000-202.00	CERT OF DEPOSITS		0.00			
800-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
800-0-000-204.00	TEXPOOL				20,974.20	
	TOTAL 800-COURT SECURITY FUND	0.00	0.00	0.00	20,974.20	20,974.20
COURT TECHNOLOGY FUND						
825-0-000-102.00	CASH	0.00				
825-0-000-202.00	CERT OF DEPOSITS		0.00			
825-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
825-0-000-204.00	TEXPOOL				61,320.04	
	TOTAL 825-COURT TECHNOLOGY FUND	0.00	0.00	0.00	61,320.04	61,320.04
PANTEGOFEST						
850-0-000-102.00	CASH	27,406.87				
850-0-000-102.20	CHANGE FUND	0.00				
850-0-000-204.00	TEXPOOL				677.62	
	TOTAL 850-PANTEGOFEST	27,406.87	0.00	0.00	677.62	28,084.49

TOWN OF PANTEGO  
 CASH & INVESTMENTS REPORT  
 AS OF: APRIL 30TH, 2015

FUND-ACCT. NO.	ACCOUNT NAME	CASH	CD'S	DISC NOTES	TEXPOOL	FUND TOTAL
<b>SHAMBURGER MEMORIAL FUND</b>						
875-0-000-102.00	CASH	0.00				
875-0-000-202.00	CERT OF DEPOSITS		50,350.24			
875-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
875-0-000-204.00	TEXPOOL				31,767.11	
TOTAL 875-SHAMBURGER		0.00	50,350.24	0.00	31,767.11	82,117.35
<b>CARTWRIGHT LIBRARY FUND</b>						
880-0-000-102.00	CASH	0.00				
880-0-000-202.00	CERT OF DEPOSITS		0.00			
880-0-000-203.00	FHML MTG DISC NOTE #1			0.00		
880-0-000-204.00	TEXPOOL				20,869.54	
TOTAL 880-CARTWRIGHT LIBRARY FUND		0.00	0.00	0.00	20,869.54	20,869.54
<b>PEDC INTEREST &amp; SINKING</b>						
901-0-000-102.00	CASH	0.00				
901-0-000-206.10	TEXPOOL				28,628.48	
TOTAL 901-PEDC INTEREST & SINKING		0.00	0.00	0.00	28,628.48	28,628.48
<b>PEDC BOND RESERVE FUND</b>						
TOTAL 902-PEDC BOND RESERVE FUND		0.00	0.00	0.00	0.00	0.00
<b>PEDC OPERATING FUND</b>						
903-0-000-102.00	CASH	4,735.70				
903-0-000-102.10	PETTY CASH	0.00				
903-0-000-206.10	TEXPOOL				335,694.27	
TOTAL 903-PEDC OPERATING FUND		4,735.70	0.00	0.00	335,694.27	340,429.97
<b>PEDC ADMIN EXPENDITURE</b>						
TOTAL 904-DORMANT		0.00	0.00	0.00	0.00	0.00
<b>PEDC REDEMPTION FUND</b>						
TOTAL 905-DORMANT		0.00	0.00	0.00	0.00	0.00
<b>PEDC SALES TAX REVENUE</b>						
906-0-000-102.00	CASH	0.00				
906-0-000-206.10	TEXPOOL				0.00	
TOTAL 906-PEDC SALES TAX REVENUE		0.00	0.00	0.00	0.00	0.00
<b>ACCOUNTS PAYABLE IMPREST</b>						
TOTAL 999-DORMANT		0.00	0.00	0.00	0.00	0.00
<b>ALL FUNDS TOTAL</b>						
		501,765.61	907,309.44	0.00	5,626,935.56	7,036,010.61
<b>TOTAL CASH AND INVESTMENTS</b>		501,765.61			6,534,245.00	

THIS PAGE INTENTIONALLY LEFT BLANK

TOWN OF PANTEGO GENERAL FUND REVENUE REPORT APRIL 2015  
General Fund Variance Analysis

Revenues:	*-----CURRENT MONTH-----*			*-----YEAR TO DATE-----*			BUDGET	
	Actual	Budget	Variance Favorable (Unfavorable)	Actual	Budget	Variance Favorable (Unfavorable)	Total	% Remaining
Property Tax	\$ 12,848	\$ 10,000	\$ 2,848	\$ 885,092	\$ 877,500	\$ 7,592	\$ 950,000	7%
Delinquent Tax Property	-	1,417	(1,417)	6,133	9,917	(3,784)	17,000	64%
Sales Tax	99,359	108,201	(8,842)	813,904	757,405	56,498	1,298,409	37%
Franchise Fee-Natural Gas	-	-	-	32,391	23,000	9,391	23,000	-41%
Franchise Fee-Communications	69	-	69	43,008	37,500	5,508	90,000	52%
Franchise Fee-Electricity	-	-	-	165,761	165,000	761	175,000	5%
Franchise Fee-Cable	-	-	-	5,639	5,833	(194)	14,000	60%
Franchise Fee-Water & Sewer	-	-	-	12,500	12,500	(0)	25,000	50%
Mixed Beverage Tax	3,841	3,500	341	7,813	7,000	813	14,000	44%
Warrant Charges	11,771	8,333	3,437	63,241	58,333	4,907	100,000	37%
FTA / City (Omni Base)	724	708	16	4,056	4,958	(902)	8,500	52%
Court Fines and Penalties	34,833	32,917	1,917	215,711	230,417	(14,706)	395,000	45%
Special Expense Fee	24,422	22,917	1,505	158,040	160,417	(2,377)	275,000	43%
Police Accident Reports	10	67	(57)	234	467	(233)	800	71%
Child Safety Guard Program	550	708	(158)	3,614	4,958	(1,344)	8,500	57%
Traffic Fees	453	625	(172)	3,120	4,375	(1,255)	7,500	58%
City Judicial Fee	237	250	(13)	1,492	1,750	(258)	3,000	50%
City Arrest Fees	1,624	1,625	(1)	10,016	11,375	(1,359)	19,500	49%
10% Serv. Fee from T&A	4,448	2,083	2,365	11,962	14,583	(2,622)	25,000	52%
Time Payment Fee	6,071	1,558	4,513	16,717	10,908	5,809	18,700	11%
Planning and Zoning Fees	1,900	625	1,275	6,083	4,375	1,708	7,500	19%
Plan Review Fees	2,105	583	1,522	6,755	4,083	2,672	7,000	3%
Building Permits	7,237	3,917	3,320	26,805	27,417	(612)	47,000	43%
Liquor Licenses	-	167	(167)	6,913	1,167	5,746	2,000	-246%
Contractor Registration Fee	1,150	917	233	7,300	6,417	883	11,000	34%
Certificates of Occupancy	1,000	583	417	4,740	4,083	657	7,000	32%
Clean & Show	240	25	215	560	175	385	300	-87%
Dog Tag Revenue	-	17	(17)	170	117	53	200	15%
NSF Check Fees	35	2	33	35	15	20	25	-40%
Ambulance Revenue	16,390	10,000	6,390	73,051	70,000	3,051	120,000	39%
Fire Inspections	385	500	(115)	1,675	3,500	(1,825)	6,000	72%
Park Rental Revenue	330	250	80	1,640	1,750	(110)	3,000	45%
Gas Royalty Revenue	346	667	(321)	5,073	4,667	407	8,000	37%
Copy Fees	-	4	(4)	-	29	(29)	50	100%
No Insurance Towing Fees	1,025	1,667	(642)	2,425	11,667	(9,242)	20,000	NA
Interest Revenue	228	458	(231)	1,427	3,208	(1,782)	5,500	74%
Other Revenue	2,375	1,667	709	5,728	11,667	(5,938)	20,000	71%
<b>Total</b>	<b>\$ 236,007</b>	<b>\$ 216,957</b>	<b>\$ 19,050</b>	<b>\$ 2,610,822</b>	<b>\$ 2,552,532</b>	<b>\$ 58,290</b>	<b>\$ 3,732,484</b>	<b>30%</b>

TOWN OF PANTEGO GENERAL FUND EXPENSE REPORT APRIL 2015  
General Fund Variance Analysis

Expenses:	*-----CURRENT MONTH-----*			*-----YEAR TO DATE-----*			BUDGET	
	Actual	Budget	Variance Favorable (Unfavorable)	Actual	Budget	Variance Favorable (Unfavorable)	Total	% Remaining
General & Administrative	\$ 66,069	\$ 67,526	\$ 1,456	\$ 374,378	\$ 388,104	\$ 13,726	\$ 687,445	46%
Public Works	61,117	63,076	1,959	282,213	307,583	25,369	551,401	49%
Community Development	13,223	14,967	1,744	66,080	75,571	9,491	126,496	48%
Police	129,811	133,956	4,145	671,828	716,549	44,721	1,275,908	47%
Fire	114,096	114,709	613	588,200	607,772	19,572	1,021,287	42%
Municipal Court	39,444	39,591	147	204,254	214,832	10,578	352,439	42%
Community Relations Board	1,908	2,075	167	10,115	10,542	427	11,500	12%
Special Events	-	-	-	8,877	8,500	(377)	8,500	-4%
<b>Total</b>	<b>\$ 425,670</b>	<b>\$ 435,901</b>	<b>\$ 10,231</b>	<b>\$ 2,205,944</b>	<b>\$ 2,329,452</b>	<b>\$ 123,508</b>	<b>\$ 4,034,976</b>	<b>45%</b>

TOWN OF PANTEGO WATER AND SEWER REVENUE REPORT APRIL 2015  
Water and Sewer Fund Variance Analysis

Revenue	*-----CURRENT MONTH-----*			*-----YEAR TO DATE-----*			BUDGET	
	Actual	Budget	Variance Favorable (Unfavorable)	Actual	Budget	Variance Favorable (Unfavorable)	Total	% Remaining
Sale of Water	\$ 28,462	\$ 30,000	\$ (1,538)	\$ 235,284	\$ 236,333	\$ (1,050)	\$ 500,000	53%
Water Tap Fees	-	25	(25)	1,685	175	1,510	300	-462%
Sewer Service Charge Fee	26,888	30,000	(3,112)	202,661	211,667	(9,006)	370,000	45%
Sewer Tap Fees	-	21	(21)	400	146	254	250	-60%
Trash Collections	7,756	7,500	256	54,177	52,500	1,677	90,000	40%
Sales Tax on Trash Collections	634	619	15	4,427	4,331	96	7,425	40%
Recycling	2,053	2,125	(72)	14,330	14,875	(545)	25,500	44%
Sales Tax on Recycling	157	175	(19)	1,100	1,227	(128)	2,104	48%
Penalties	1,631	1,250	381	10,731	8,750	1,981	15,000	28%
N.S.F. Check Fees	30	33	(3)	150	233	(83)	400	63%
Adm. Serv. Charge / Sewer Impact	800	417	383	3,920	2,917	1,003	5,000	22%
Interest Revenue	-	63	(63)	235	438	(202)	750	69%
Other Revenue	2,194	2,333	(139)	15,602	16,333	(731)	28,000	44%
Trash Contract Payable	(7,756)	(7,500)	(256)	(54,185)	(52,500)	(1,685)	(90,000)	40%
Sales Tax on Trash Collections Payable	(634)	(619)	(15)	(4,428)	(4,331)	(96)	(7,425)	40%
Recycling Contract Payable	(2,053)	(2,125)	72	(14,332)	(14,875)	543	(25,500)	44%
Sales Tax on Recycling Payable	(157)	(175)	19	(1,100)	(1,227)	128	(2,104)	48%
Total Revenue before Transfers	<u>\$ 60,005</u>	<u>\$ 64,142</u>	<u>\$ (4,137)</u>	<u>\$ 470,657</u>	<u>\$ 476,992</u>	<u>\$ (6,335)</u>	<u>\$ 919,700</u>	<u>49%</u>

TOWN OF PANTEGO INFRASTRUCTURE IMPROVEMENT FUND REPORT APRIL 2015  
Water and Sewer Fund Variance Analysis

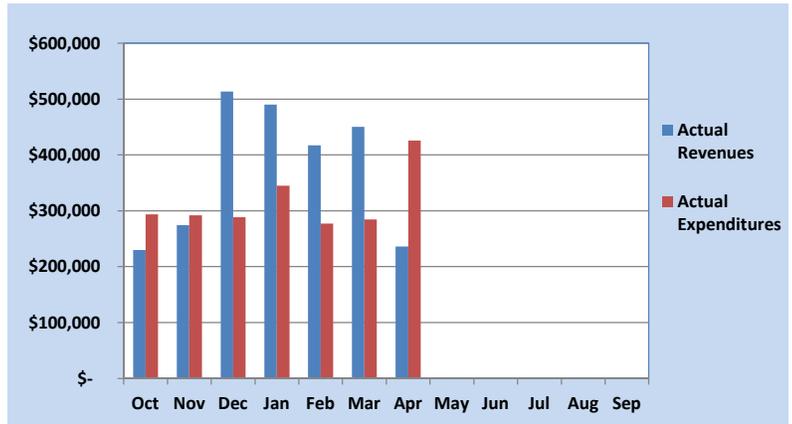
Revenue:	*-----CURRENT MONTH-----*			*-----YEAR TO DATE-----*			BUDGET	
	Actual	Budget	Variance Favorable (Unfavorable)	Actual	Budget	Variance Favorable (Unfavorable)	Total	% Remaining
Infrastructure Improvements	\$ 24,847	\$ 27,500	\$ (2,653)	\$ 174,958	\$ 192,500	\$ (17,542)	\$ 330,000	47%

TOWN OF PANTEGO WATER AND SEWER EXPENDITURE REPORT APRIL 2015  
Water and Sewer Fund Variance Analysis

Expenses:	*-----CURRENT MONTH-----*			*-----YEAR TO DATE-----*			BUDGET	
	Actual	Budget	Variance Favorable (Unfavorable)	Actual	Budget	Variance Favorable (Unfavorable)	Total	% Remaining
Water Expense	\$ 17,056	\$ 17,180	\$ 124	\$ 113,411	\$ 119,235	\$ 5,824	\$ 324,070	65%
Sewer Expense	26,778	27,899	1,121	134,954	141,620	6,666	373,383	64%
	<u>\$ 43,834</u>	<u>\$ 45,079</u>	<u>\$ 1,245</u>	<u>\$ 248,365</u>	<u>\$ 260,855</u>	<u>\$ 12,490</u>	<u>\$ 697,453</u>	<u>64%</u>

**OVERALL FUND PERFORMANCE**  
**FY 2015 GENERAL FUND REVENUES VS EXPENDITURES**

MONTH	Actual Revenues	Actual Expenditures	Change in Fund Balance Increase (Decrease)
Oct	\$ 229,668	\$ 293,492	\$ (63,824)
Nov	274,134	292,018	(17,884)
Dec	513,378	288,672	224,706
Jan	490,333	344,999	145,334
Feb	417,090	276,940	140,150
Mar	450,212	284,393	165,819
Apr	236,007	425,670	(189,663)
May			
Jun			
Jul			
Aug			
Sep			
<b>TOTAL</b>	<b>\$ 2,610,822</b>	<b>\$ 2,206,184</b>	<b>\$ 404,638</b>
Budget	\$ 3,732,484	\$ 4,034,978	
Over/(under)	\$ (1,121,662)	\$ (1,828,794)	
YTD % collected & expensed	69.9%	54.7%	



**Revenues:**

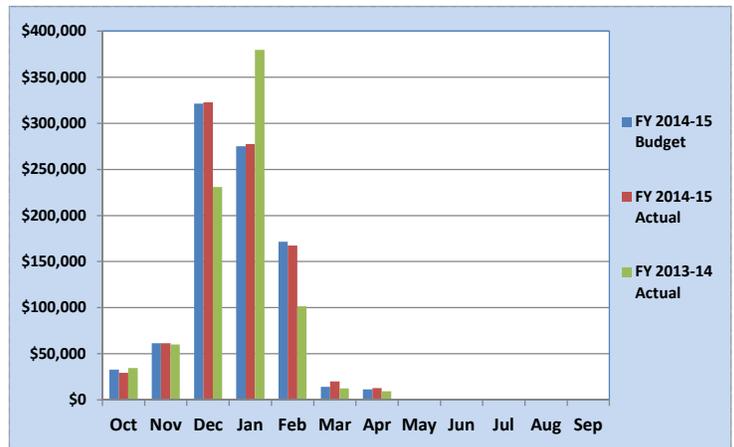
Total revenues in the General Fund as of April 30th totaled \$2,610,822. Revenues for the same period last year totaled \$2,635,046; \$24,224 higher when compared to this year. However, when compared to this year's projection of \$2,552,532 through the end of April, total revenue collected for the period is \$58,290 higher than anticipated. This increase comes as a result of higher than projected year to date collection of sales tax, franchise fees, licenses and permits.

**Expenditures:**

Expenditures in the General Fund as of April 30th totaled \$2,206,184; \$123,508 lowered than projected for the period. Total expenditures for the same period last year totaled \$2,261,028; \$54,845 higher compared to this year's expenditures. The difference may be attributable to the timing of capital purchases, vacancy savings and lower than expected expenses. Unlike prior months, this period experienced a decrease in fund balance. The decrease in fund balance comes largely as a result of processing three (3) pay periods during the month of April.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 PROPERTY TAX (Current & Delinquent)**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 34,367	\$ 32,832	\$ 29,204	\$ (3,628)
Nov	60,066	61,417	61,371	(46)
Dec	230,830	321,417	322,907	1,490
Jan	379,898	275,000	277,595	2,595
Feb	101,435	171,417	167,342	(4,075)
Mar	12,374	13,917	19,958	6,041
Apr	9,103	11,417	12,848	1,431
May	6,061			
Jun	22,934			
Jul	20,219			
Aug	2,027			
Sep	1,922			
<b>TOTAL</b>	<b>\$ 881,236</b>	<b>\$ 887,417</b>	<b>\$ 891,225</b>	<b>\$ 3,808</b>
Budget	\$ 880,000		\$ 967,000	
Over/(under)	\$ 1,236		\$ (75,775)	
YTD % collected			92.2%	



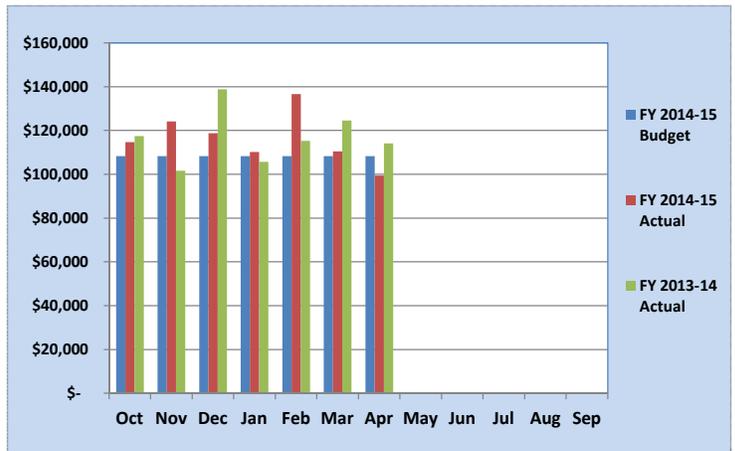
**Property tax:**

**Description:** Property tax is the second largest source of revenue for the General Fund. Property taxes are levied on both real and personal property according to the property's valuation and tax rate. The property tax rate for the Town of Pantego for FY 2015 is \$0.42 per \$100 valuation, unchanged from the prior fiscal year. Although the property tax remained unchanged, total revenue from property tax is expected to increase this fiscal year due to a slight increase in property values. The Tarrant County Tax Assessor Collector mails property tax statements the first week of October. Taxes are due by January 31. Taxes unpaid as of February 1 are considered late and therefore subject to penalty and interest.

**Analysis:** General fund property tax collections through the month of April totaled \$891,255 or 92.2% of the FY 2015 budgeted amount. The Town has collected about \$63,000 more in property taxes this year compared to the same period last year: \$828,073 in FY14 compared to \$891,225 in FY15.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 SALES AND USE TAX**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 117,450	\$ 108,201	\$ 114,681	\$ 6,480
Nov	101,605	108,201	124,068	15,867
Dec	138,744	108,201	118,757	10,556
Jan	105,673	108,201	110,090	1,889
Feb	115,203	108,201	136,546	28,345
Mar	124,540	108,201	110,404	2,203
Apr	114,075	108,201	99,359	(8,842)
May	107,566	108,201		
Jun	132,526	108,201		
Jul	113,790	108,201		
Aug	114,681	108,201		
Sep	123,282	108,198		
<b>TOTAL</b>	<b>\$ 1,409,135</b>	<b>\$ 1,298,409</b>	<b>\$ 813,904</b>	<b>\$ 56,497</b>
Budget	\$ 1,281,969		\$ 1,298,409	
Over/(under)	\$ 127,166		\$ (484,505)	
YTD % collected			62.7%	



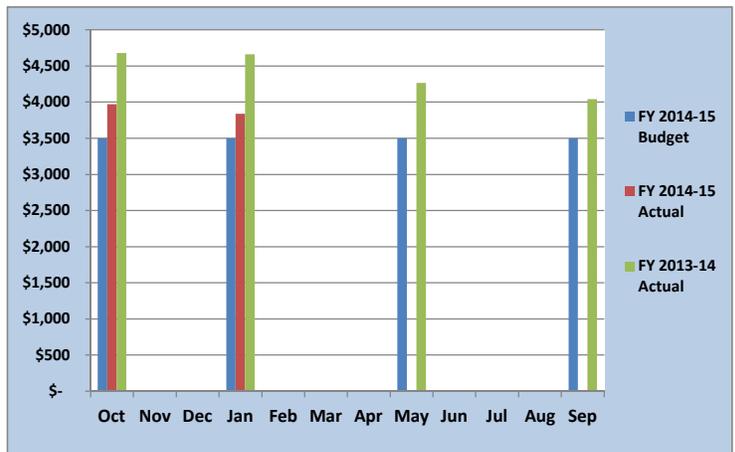
**Sales and use tax:**

**Description:** Tax imposed on all retail sales, leases and rentals of most goods, as well as taxable services. The total sales tax rate levied within the Town is 8.25% (State 6.25%; Town 1.25%; Street Improvement 0.25%; PEDC 0.50%). Sales taxes are collected by the State Comptroller and are collected on sales made two months or more prior to the allocation payment date. As the largest source of revenue to the Town's General Fund, sales and use taxes are essential to the delivery of services to the community.

**Analysis:** Sales tax revenue through the end of April totaled \$813,904. Compared to revenue for the same period last year of \$817,291, this year's sale tax remittance represent a decrease of \$3,387. However, compared to this year's period budget projection of \$757,407, sales tax revenue is \$56,497 higher than projected.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 MIXED BEVERAGE TAX**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 4,681	\$ 3,500	\$ 3,972	\$ 472
Nov	-	-	-	-
Dec	-	-	-	-
Jan	4,661	3,500	3,841	341
Feb	-	-	-	-
Mar	-	-	-	-
Apr	-	-	-	-
May	4,267	3,500		
Jun	-	-		
Jul	-	-		
Aug	-	-		
Sep	4,044	3,500		
<b>TOTAL</b>	<b>\$ 17,653</b>	<b>\$ 14,000</b>	<b>\$ 7,813</b>	<b>\$ 813</b>
Budget	\$ 11,000		\$ 14,000	
Over/(under)	\$ 6,653		\$ (6,187)	
YTD % collected			55.8%	



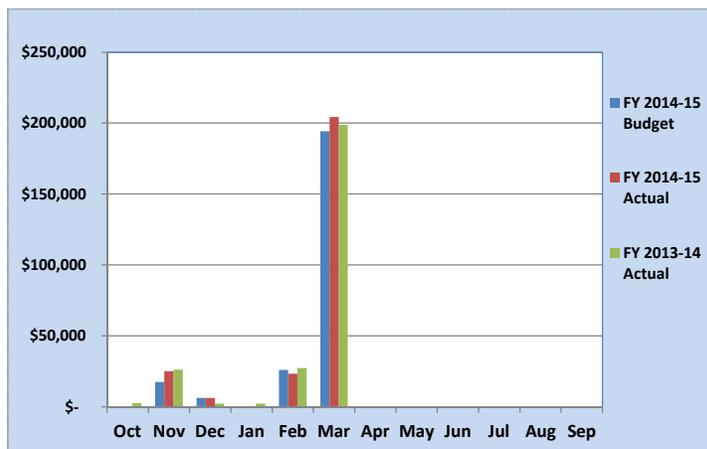
**Mixed beverage tax:**

**Description:** Effective January 1, 2014 the gross receipts tax was lowered to 6.7% (previously 14%) and an 8.25% mixed beverage sales tax was added to the price of each mixed beverage sold. Following the end of each calendar quarter, the State Comptroller allocates a portion of the mixed beverage taxes received, both gross receipts and sales tax, to the county/city where the business is located. Mixed beverage tax allocation amounts are dependent upon the timing and accuracy of the taxpayers' returns and payments, but generally represent taxes remitted to the Comptroller's office during the calendar quarter immediately preceding the month the allocation is distributed.

**Analysis:** Collections of mixed beverage tax through the end of April totaled \$7,813; \$813 higher than projected for the period. However, compared to last year's revenue collection of \$4,661, this year's second quarter mixed beverage tax decreased by \$820. As of the end of April, the Town has collected about \$1,500 less in mixed beverage tax compared to same period collections from the prior fiscal year. The next mixed beverage quarterly payment for the months of April through June will be collected in July.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 FRANCHISE FEES**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 2,501	\$ -	\$ 313	\$ 313
Nov	26,240	17,333	24,966	7,633
Dec	2,122	6,250	6,256	6
Jan	2,170	-	73	73
Feb	27,162	26,000	23,239	(2,761)
Mar	198,730	194,250	204,383	10,133
Apr	18,228	-	69	69
May	20,492			
Jun	-			
Jul	-			
Aug	24,031			
Sep	9,789			
<b>TOTAL</b>	<b>\$ 331,464</b>	<b>\$ 243,833</b>	<b>\$ 259,299</b>	<b>\$ 15,466</b>
Budget	\$ 327,000		\$ 327,000	
Over/(under)	\$ 4,464		\$ (67,701)	
YTD % collected			79.3%	



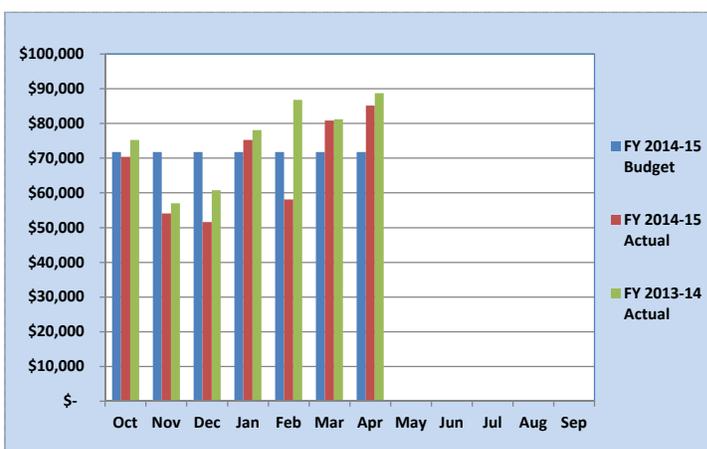
**Franchise fees:**

**Description:** Franchise fees are fees charged to specific industries conducting business within the Town. Utilities (electric, phone, gas and cable) that operate within the Town pay this fee for their use of the Town's right-of-way to run their utility lines. Franchise fee payments are based on a percentage of the utilities' gross receipts. Most utility companies pay quarterly with electricity paid yearly during the month of March. Franchise fees for FY 2015 represent nearly 9% of the total General Fund projected revenues and include franchise fees from electric, gas, cable and telecommunications utility companies.

**Analysis:** Revenue from franchise fees through April 30th totaled \$259,299; \$15,466 higher than projected for the period. Compared to last year revenue of \$277,153, this year's revenue of \$259,299 represents a decrease of \$17,854. The difference may be attributable to the timing of franchise collections from the different utilities.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 FINES & FORFEITURES**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 75,261	\$ 71,792	\$ 70,412	\$ (1,380)
Nov	57,019	71,792	54,055	(17,737)
Dec	60,736	71,792	51,640	(20,152)
Jan	78,089	71,792	75,232	3,440
Feb	86,792	71,792	58,164	(13,628)
Mar	81,185	71,792	80,877	9,085
Apr	88,776	71,792	85,143	13,351
May	71,867	71,792		
Jun	65,458	71,792		
Jul	75,144	71,792		
Aug	51,879	71,792		
Sep	87,632	71,788		
<b>TOTAL</b>	<b>\$ 879,837</b>	<b>\$ 861,500</b>	<b>\$ 475,523</b>	<b>\$ (27,021)</b>
Budget	\$ 861,500		\$ 861,500	
Over/(under)	\$ 18,337		\$ (385,977)	
YTD % collected			55.2%	



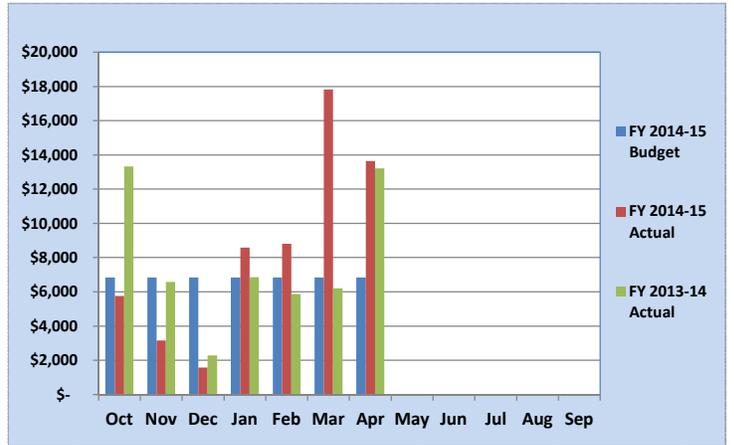
**Fines and Forfeitures:**

**Description:** Fines and forfeitures revenue for the Town include revenue from municipal court fines, warrant charges and other special assessment fees. Fines and related fees are assessed by the violation of local ordinances and state laws. For every dollar assessed, a percentage is recognized as fines or fees for the municipality and fees assessed by the State. The Town remits to the State of Texas the fees collected that the State assessed for itself.

**Analysis:** Court fines and fees represent 23.1% of the total revenue projection for the General Fund. Fines and forfeiture collections are \$475,523 or 55.2% of budget as of April 30th. Current year revenues, however, are \$27,021 or 5.4% lower than projected for the current year and \$52,334 or 9.9% lower than realized through the end of April FY 2014. Revenues through the end of April in FY 14 totaled \$527,857.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 LICENSES & PERMITS**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 13,328	\$ 6,833	\$ 5,764	\$ (1,069)
Nov	6,579	6,833	3,151	(3,682)
Dec	2,286	6,833	1,580	(5,253)
Jan	6,861	6,833	8,576	1,743
Feb	5,872	6,833	8,801	1,968
Mar	6,198	6,833	17,821	10,988
Apr	13,211	6,833	13,632	6,799
May	3,941	6,833		
Jun	2,213	6,833		
Jul	7,997	6,833		
Aug	4,555	6,833		
Sep	4,378	6,837		
<b>TOTAL</b>	<b>\$ 77,419</b>	<b>\$ 82,000</b>	<b>\$ 59,325</b>	<b>\$ 11,494</b>
Budget	\$ 83,050		\$ 82,000	
Over/(under)	\$ (5,631)		\$ (22,675)	
YTD % collected			72.3%	



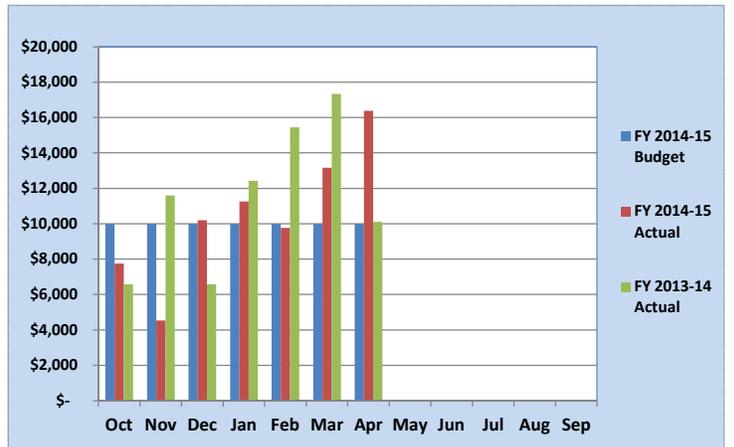
**Licenses and Permits:**

**Description:** Licenses and permits include revenue collected by the Town for services related to construction activity. It also includes project permits which cover all or partial construction (electrical, plumbing, mechanical, and certificate of occupancy fees), specific permits (fences, garage sale, electric, plumbing), and service fees (re-inspections and special inspections).

**Analysis:** Licenses and permits represent 2.2% of the total revenue projection for the General Fund. Collections for the same period last year were \$54,335; \$4,991 lower than current year revenue. Compared to current year projections of \$47,831 through the end of April, revenue from licenses and permits are \$11,494 or 24.0% higher than originally projected.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 AMBULANCE REVENUE**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 6,580	\$ 10,000	\$ 7,758	\$ (2,242)
Nov	11,596	10,000	4,522	(5,478)
Dec	6,582	10,000	10,190	190
Jan	12,419	10,000	11,255	1,255
Feb	15,442	10,000	9,768	(232)
Mar	17,327	10,000	13,168	3,168
Apr	10,106	10,000	16,390	6,390
May	12,055	10,000		
Jun	26,235	10,000		
Jul	8,948	10,000		
Aug	8,909	10,000		
Sep	7,354	10,000		
<b>TOTAL</b>	<b>\$ 143,553</b>	<b>\$ 120,000</b>	<b>\$ 73,051</b>	<b>\$ 3,051</b>
Budget	\$ 120,000		\$ 120,000	
Over/(under)	\$ 23,553		\$ (46,949)	
YTD % collected			60.9%	



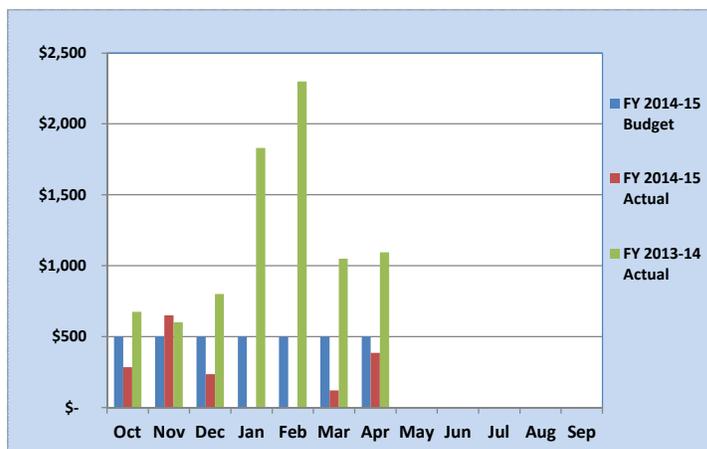
**Ambulance services:**

**Description:** This fee represents the revenue that is earned from providing emergency medical services to the Town of Pantego citizens. The fees help offset the cost of providing this service to the community.

**Analysis:** Revenues of \$73,051 through the end of April represent 60.9% of total projected ambulance revenue. Compared to last year revenue of \$80,052, current year revenue is \$7,001 or 8.7% lower than last year. However, compared to current year projections, ambulance services revenue is \$3,051 or 4.4% higher than the \$70,000 projected as of April 30th.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 FIRE INSPECTIONS**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 675	\$ 500	\$ 285	\$ (215)
Nov	600	500	650	150
Dec	800	500	235	(265)
Jan	1,830	500	-	(500)
Feb	2,300	500	-	(500)
Mar	1,050	500	120	(380)
Apr	1,095	500	385	(115)
May	645	500		
Jun	310	500		
Jul	-	500		
Aug	25	500		
Sep	150	500		
<b>TOTAL</b>	<b>\$ 9,480</b>	<b>\$ 6,000</b>	<b>\$ 1,675</b>	<b>\$ (1,825)</b>
<i>Budget</i>	<i>\$ 6,000</i>		<i>\$ 6,000</i>	
<i>Over/(under)</i>	<i>\$ 3,480</i>		<i>\$ (4,325)</i>	
<i>YTD % collected</i>			<i>27.9%</i>	



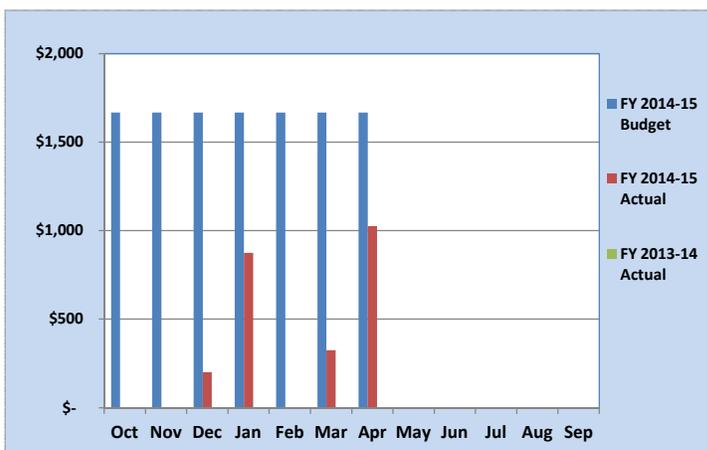
**Fire Inspections**

**Description:** This revenue is collected by the Fire department for fire safety inspections.

**Analysis:** Revenue from fire inspections through April 30th totaled \$1,675; \$1,825 short of the \$3,500 projected for the period. Compared to last year revenue of \$8,350, this year collections from fire inspections have decreased by \$6,675 through the end April.

**REVENUE ANALYSIS - General Fund**  
**FY 2015 NO INSURANCE TOWING FEES**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ -	\$ 1,667	\$ -	\$ (1,667)
Nov	-	1,667	-	(1,667)
Dec	-	1,667	200	(1,467)
Jan	-	1,667	875	(792)
Feb	-	1,667	-	(1,667)
Mar	-	1,667	325	(1,342)
Apr	-	1,667	1,025	(642)
May	-	1,667		
Jun	525	1,667		
Jul	500	1,667		
Aug	450	1,667		
Sep	975	1,663		
<b>TOTAL</b>	<b>\$ 2,450</b>	<b>\$ 20,000</b>	<b>\$ 2,425</b>	<b>(9,244)</b>
<i>Budget</i>	<i>\$ -</i>		<i>\$ 20,000</i>	
<i>Over/(under)</i>	<i>\$ 2,450</i>		<i>\$ (17,575)</i>	
<i>YTD % collected</i>			<i>12.1%</i>	



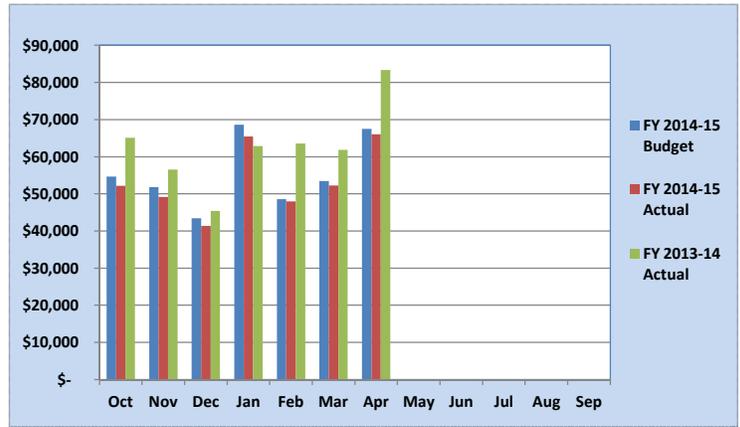
**No Insurance Towing Fees**

**Description:** Town Council approved an ordinance allowing the Police department to impound vehicles whose drivers failed to provide proof of liability insurance. An administrative fee of \$25 per vehicle was authorized to be assessed to the owner of such vehicle. The Town currently holds a contract with a local towing company; the company collects the \$25 administrative fee and forwards this pass-through amount to the Town.

**Analysis:** As mentioned before, staff does not anticipate to meet FY15 revenue projections of \$20,000 from this source. Revenue failed to meet period projections by \$9,244 through the end of April. At this time staff projects total revenue to equal closer to \$5,000 by the end of the fiscal year.

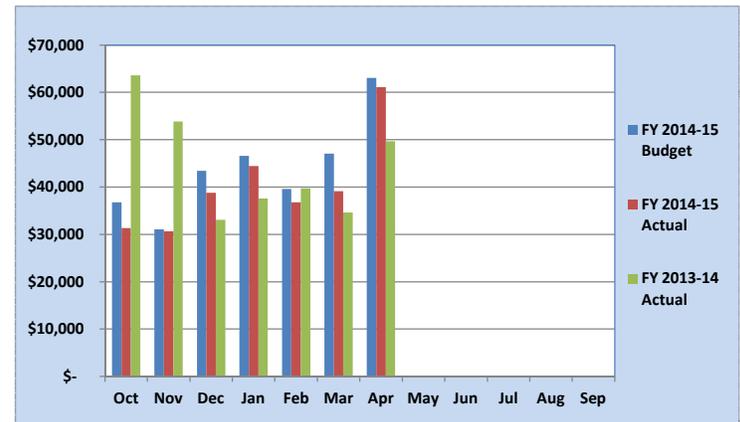
**EXPENDITURES ANALYSIS BY FUNCTION - General Fund**  
**General and Administrative**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 65,081	\$ 54,629	\$ 52,134	\$ 2,495
Nov	56,558	51,831	49,177	2,654
Dec	45,395	43,445	41,414	2,031
Jan	62,855	68,642	65,427	3,215
Feb	63,541	48,588	47,934	654
Mar	61,869	53,444	52,223	1,221
Apr	83,367	67,526	66,069	1,457
May	47,893			
Jun	45,395			
Jul	51,852			
Aug	56,952			
Sep	69,563			
<b>TOTAL</b>	<b>\$ 710,321</b>	<b>\$ 388,104</b>	<b>\$ 374,378</b>	<b>\$ 13,727</b>
<i>Budget</i>	<i>\$ 741,782</i>	<i>\$ 687,445</i>	<i>\$ 687,445</i>	
<i>Over/(under)</i>	<i>\$ (31,461)</i>		<i>\$ (313,067)</i>	
<i>YTD% expensed</i>			<i>54.5%</i>	



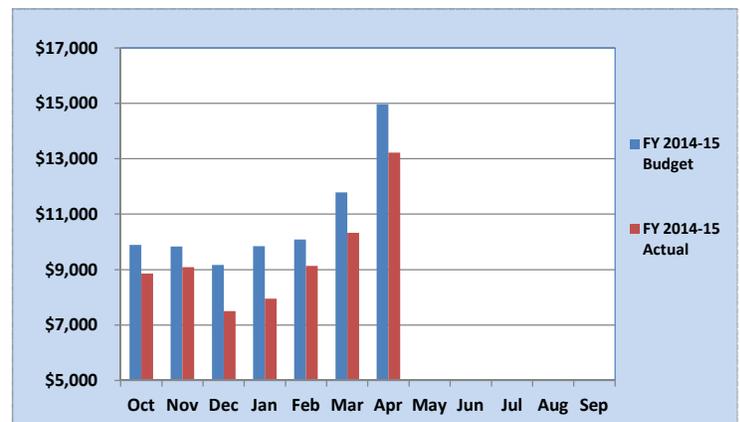
**EXPENDITURES ANALYSIS BY FUNCTION - General Fund**  
**Public Works**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 63,600	\$ 36,791	\$ 31,310	\$ 5,481
Nov	53,865	31,054	30,679	375
Dec	33,110	43,412	38,776	4,637
Jan	37,603	46,578	44,408	2,170
Feb	39,745	39,616	36,767	2,849
Mar	34,638	47,056	39,156	7,900
Apr	49,664	63,076	61,117	1,959
May	34,861			
Jun	22,998			
Jul	44,721			
Aug	34,085			
Sep	73,599			
<b>TOTAL</b>	<b>\$ 522,488</b>	<b>\$ 307,583</b>	<b>\$ 282,213</b>	<b>\$ 25,370</b>
<i>Budget</i>	<i>\$ 581,228</i>	<i>\$ 551,401</i>	<i>\$ 551,401</i>	
<i>Over/(under)</i>	<i>\$ (58,740)</i>		<i>\$ (269,188)</i>	
<i>YTD% expensed</i>			<i>51.2%</i>	



**EXPENDITURES ANALYSIS BY FUNCTION - General Fund**  
**Community Development**

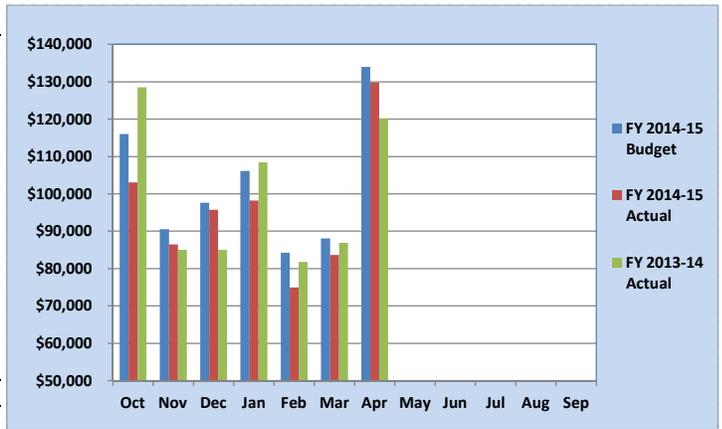
MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ -	\$ 9,895	\$ 8,859	\$ 1,036
Nov	-	9,837	9,089	748
Dec	-	9,162	7,504	1,658
Jan	-	9,840	7,949	1,891
Feb	-	10,080	9,130	951
Mar	-	11,789	10,325	1,464
Apr	-	14,967	13,223	1,744
May	-			
Jun	-			
Jul	-			
Aug	-			
Sep	-			
<b>TOTAL</b>	<b>\$ -</b>	<b>\$ 75,570</b>	<b>\$ 66,079</b>	<b>\$ 9,491</b>
<i>Budget</i>		<i>\$ 126,496</i>	<i>\$ 126,496</i>	
<i>Over/(under)</i>			<i>\$ (60,417)</i>	
<i>YTD% expensed</i>			<i>52.2%</i>	



**EXPENDITURES ANALYSIS BY FUNCTION - General Fund**

**Police Department**

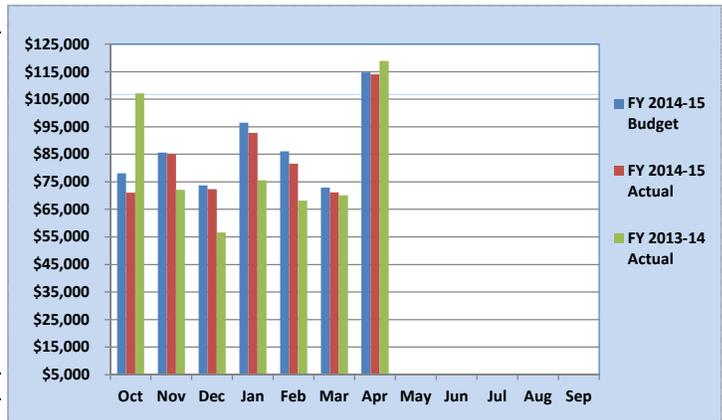
MONTH	FY 2013-14	FY 2014-15	FY 2014-15	Variance
	Actual	Budget	Actual	Favorable (Unfavorable)
Oct	\$ 128,523	\$ 116,033	\$ 103,027	\$ 13,006
Nov	85,023	90,549	86,444	4,105
Dec	84,987	97,580	95,726	1,855
Jan	108,468	106,129	98,220	7,909
Feb	81,808	84,230	74,966	9,264
Mar	86,915	88,072	83,633	4,439
Apr	120,201	133,956	129,811	4,145
May	82,306			
Jun	68,698			
Jul	92,592			
Aug	82,303			
Sep	116,816			
<b>TOTAL</b>	<b>\$ 1,138,640</b>	<b>\$ 716,549</b>	<b>\$ 671,828</b>	<b>\$ 44,722</b>
Budget	\$ 1,199,054	\$ 1,275,908	\$ 1,275,908	
Over/(under)	\$ (60,414)		\$ (604,080)	
YTD% expensed			52.7%	



**EXPENDITURES ANALYSIS BY FUNCTION - General Fund**

**Fire Department**

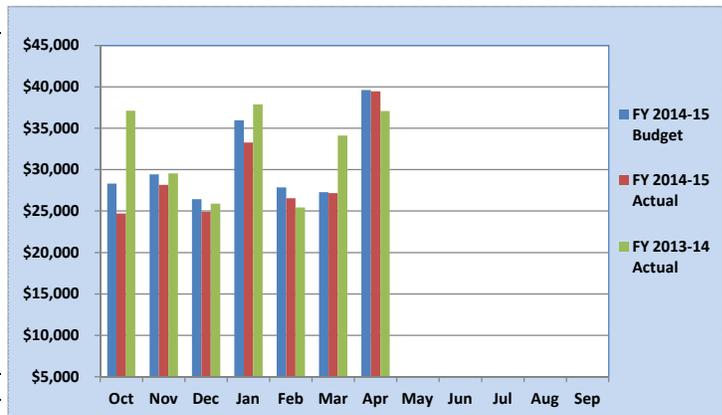
MONTH	FY 2013-14	FY 2014-15	FY 2014-15	Variance
	Actual	Budget	Actual	Favorable (Unfavorable)
Oct	\$ 107,084	\$ 78,136	\$ 71,099	\$ 7,037
Nov	72,154	85,601	85,089	512
Dec	56,611	73,773	72,301	1,472
Jan	75,569	96,470	92,841	3,629
Feb	68,184	86,138	81,581	4,557
Mar	70,148	72,944	71,192	1,752
Apr	118,947	114,709	114,096	613
May	64,192			
Jun	70,073			
Jul	85,700			
Aug	72,740			
Sep	113,418			
<b>TOTAL</b>	<b>\$ 974,820</b>	<b>\$ 607,772</b>	<b>\$ 588,200</b>	<b>\$ 19,572</b>
Budget	\$ 970,290	\$ 1,021,287	\$ 1,021,287	
Over/(under)	\$ 4,530		\$ (433,087)	
YTD% expensed			57.6%	



**EXPENDITURES ANALYSIS BY FUNCTION - General Fund**

**Municipal Court**

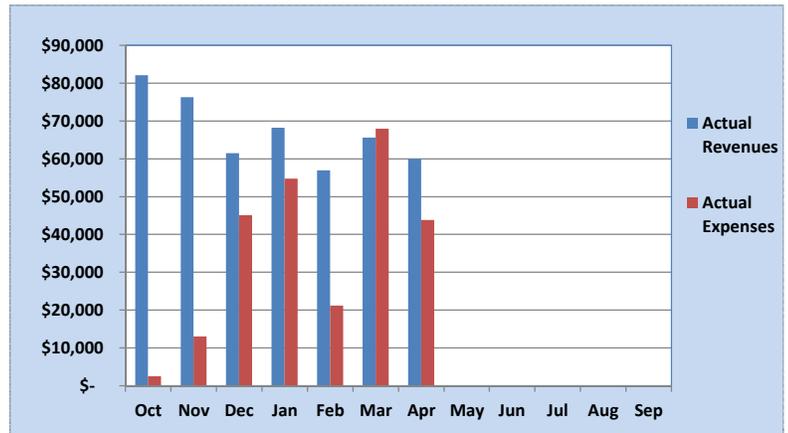
MONTH	FY 2013-14	FY 2014-15	FY 2014-15	Variance
	Actual	Budget	Actual	Favorable (Unfavorable)
Oct	\$ 37,104	\$ 28,302	\$ 24,727	\$ 3,575
Nov	29,562	29,443	28,182	1,261
Dec	25,905	26,425	24,888	1,537
Jan	37,889	35,951	33,267	2,684
Feb	25,425	27,845	26,562	1,283
Mar	34,119	27,275	27,183	92
Apr	37,062	39,591	39,444	147
May	25,026			
Jun	23,054			
Jul	26,663			
Aug	25,604			
Sep	34,597			
<b>TOTAL</b>	<b>\$ 362,011</b>	<b>\$ 214,832</b>	<b>\$ 204,254</b>	<b>\$ 10,579</b>
Budget	\$ 371,232	\$ 352,441	\$ 352,441	
Over/(under)	\$ (9,221)		\$ (148,187)	
YTD% expensed			58.0%	



THIS PAGE INTENTIONALLY LEFT BLANK

**OVERALL FUND PERFORMANCE**  
**WATER AND SEWER OPERATING FUND REVENUES VS EXPENSES**

MONTH	Actual Revenues	Actual Expenses	Change in Net Position Increase (Decrease)
Oct	\$ 82,098	\$ 2,536	\$ 79,562
Nov	76,266	13,016	63,250
Dec	61,461	45,068	16,393
Jan	68,217	54,764	13,453
Feb	56,972	21,168	35,804
Mar	65,638	67,979	(2,341)
Apr	60,005	43,834	16,171
May			
Jun			
Jul			
Aug			
Sep			
<b>TOTAL</b>	<b>\$ 470,657</b>	<b>\$ 248,365</b>	<b>\$ 222,292</b>
<i>Budget</i>	<i>\$ 919,700</i>	<i>\$ 697,453</i>	
<i>Over/(under)</i>	<i>\$ (449,043)</i>	<i>\$ (449,088)</i>	
<i>YTD % collected &amp; expensed</i>	<i>51.2%</i>	<i>35.6%</i>	



**Revenues:**

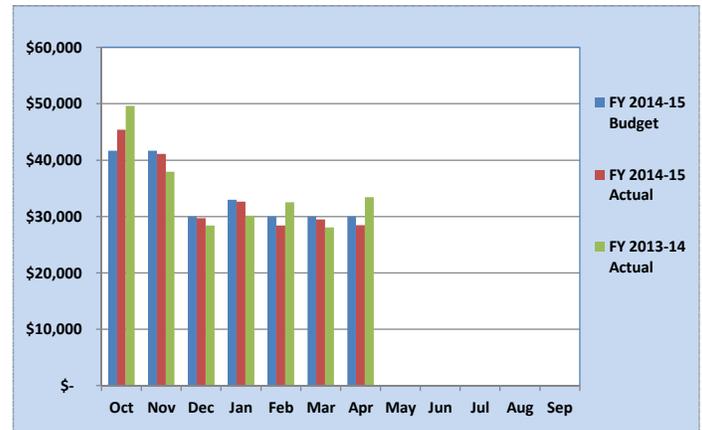
Revenues include collections from the sale of water, sewer service charge, late fees, admin service fees, interest earnings and other revenue. The Infrastructure Improvement fee is accounted for separately and therefore not included in this analysis. Water and Sewer operating fund revenues totaled \$470,657 as of April 30th. Compared to last year, revenues for the same period totaled \$478,979; about \$8,300 higher than the current fiscal year. However, overall revenue period projections from water and sewer operations through the end of April were not met by \$6,335.

**Expenses:**

Expenses through April 30th totaled \$248,365; approximately \$39,000 lower than last year's period expenses of \$287,431. The difference may be attributable to the timing of maintenance, repairs and capital purchases.

**REVENUE ANALYSIS - Water and Sewer Operating Fund**  
**FY 2015 WATER SALES**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 49,655	\$ 41,667	\$ 45,424	\$ 3,757
Nov	37,960	41,666	41,114	(552)
Dec	28,402	30,000	29,726	(274)
Jan	30,185	33,000	32,651	(349)
Feb	32,541	30,000	28,413	(1,587)
Mar	28,098	30,000	29,493	(507)
Apr	33,413	30,000	28,462	(1,538)
May	39,571			
Jun	46,465			
Jul	40,468			
Aug	53,787			
Sep	43,337			
<b>TOTAL</b>	<b>\$ 463,881</b>	<b>\$ 236,333</b>	<b>\$ 235,283</b>	<b>\$ (1,050)</b>
<i>Budget</i>	<i>\$ 520,000</i>	<i>\$ 500,000</i>	<i>\$ 500,000</i>	
<i>Over/(under)</i>	<i>\$ (56,119)</i>		<i>\$ (264,717)</i>	
<i>YTD % collected</i>			<i>47.1%</i>	



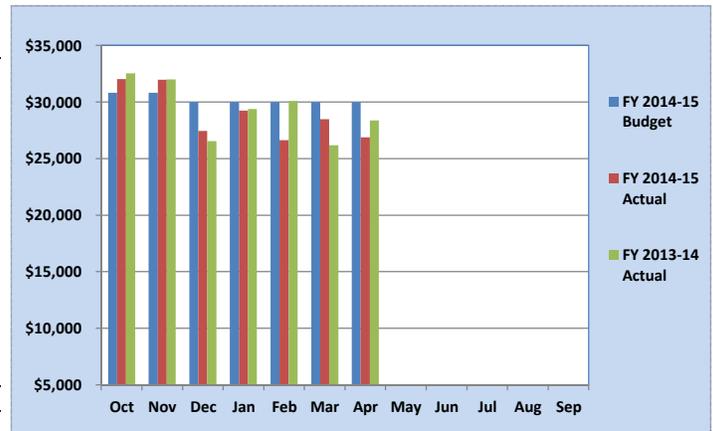
**Sale of Water**

**Description:** The Town of Pantego owns and operates a water system. Utility customer service bills and collects revenue from the sale of potable water to residential, commercial and mobile dwellings. Water sales are highly dependent upon weather conditions, therefore, revenue trends and projections are difficult to predict.

**Analysis:** Water sales through the end of April did not meet budget projections by \$1,050. Compared to last year's period revenue, revenue from the sale of water decreased by \$4,970 this year; from \$240,253 in FY 2014 to \$235,283 in FY 2015. So far it looks like water sales for the current year are very comparable to last year. However, if this trend continues through the end of the fiscal year, the overall budget projection of \$500,000 will not be met. At this point, staff anticipates this shortfall to be between \$30,000-\$35,000 in water revenue.

**REVENUE ANALYSIS - Water and Sewer Operating Fund  
FY 2015 SEWER SERVICE CHARGE**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 32,541	\$ 30,833	\$ 32,028	\$ 1,195
Nov	32,012	30,833	31,969	1,136
Dec	26,546	30,000	27,441	(2,559)
Jan	29,393	30,000	29,245	(755)
Feb	30,098	30,000	26,615	(3,385)
Mar	26,178	30,000	28,475	(1,525)
Apr	28,377	30,000	26,888	(3,112)
May	31,502			
Jun	32,659			
Jul	30,709			
Aug	33,786			
Sep	26,299			
<b>TOTAL</b>	<b>\$ 360,099</b>	<b>\$ 211,666</b>	<b>\$ 202,661</b>	<b>\$ (9,005)</b>
Budget	\$ 375,000	\$ 370,000	\$ 370,000	
Over/(under)	\$ (14,901)		\$ (167,339)	
YTD % collected			54.8%	



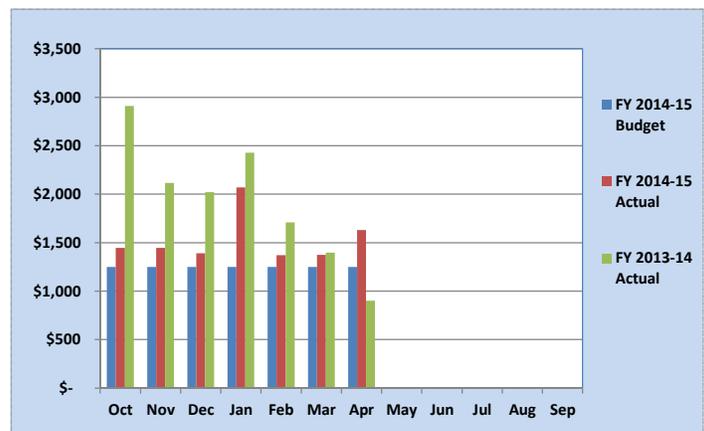
**Sewer Service Charge:**

**Description:** Utility customer service bills and collects revenue from the disposal of sewer discharge for residential, commercial and mobile dwellings. The Town of Pantego has contracts with the City of Fort Worth and the City of Arlington for the treatment of wastewater. These contracts require the Town to pay varying amounts based on the costs associated with the wastewater treated. As with water sales, sewer service charges are highly dependent upon weather conditions, therefore, revenue trends are more difficult to predict.

**Analysis:** Revenue collections from sewer service charges through April 30th failed to meet projections by \$9,005. However, when compared to last year's results, revenue from sewer service charges decreased only by \$2,483; from \$205,144 in FY 2014 to \$202,661 in FY 2015. As with water sales, this year's sewer service charges are relatively similar to last year's revenue trend. If this trend continues through the end of the fiscal year, staff expects overall revenue to be about \$10,000 - \$15,000 short of the original \$370,000 projection.

**REVENUE ANALYSIS - Water and Sewer Operating Fund  
FY 2015 LATE PAYMENT FEES**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 2,909	\$ 1,250	\$ 1,447	\$ 197
Nov	2,117	1,250	1,448	198
Dec	2,022	1,250	1,390	140
Jan	2,427	1,250	2,071	821
Feb	1,710	1,250	1,371	121
Mar	1,396	1,250	1,373	123
Apr	903	1,250	1,631	381
May	1,596	1,250		
Jun	1,352	1,250		
Jul	1,397	1,250		
Aug	1,127	1,250		
Sep	1,589	1,250		
<b>TOTAL</b>	<b>\$ 20,545</b>	<b>\$ 15,000</b>	<b>\$ 10,731</b>	<b>\$ 1,981</b>
Budget	\$ 15,000	\$ 15,000	\$ 15,000	
Over/(under)	\$ 5,545		\$ (4,269)	
YTD % collected			71.5%	



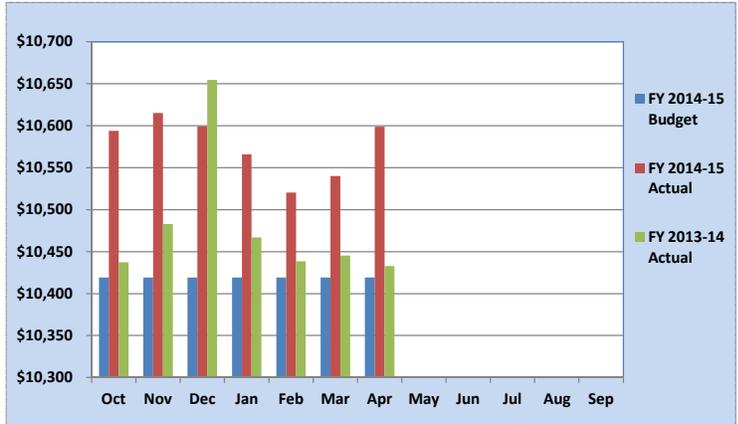
**Late payment fees:**

**Description:** All bills for monthly water, sewer and trash services are due upon receipt and are considered delinquent after the billing due date with a 10% of the balance due to be charged if payment in full is not received by the Town. In the event of delinquency in payment of the monthly service charges beyond 30 days after the date of billing, service is disconnected after two (2) days' notice to the customer. A fee is charged and collected for reconnection and restoration of service, as well as all unpaid billings plus penalties, before service is restored.

**Analysis:** Revenue from late fees through the end of April were \$1,981 higher than projected. However, compared to last year's actual revenue from late payments fees of \$13,484, collections this year for the same period are \$2,753 lower.

**REVENUE ANALYSIS - Water and Sewer Operating Fund  
FY 2015 GARBAGE & RECYCLING**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 10,438	\$ 10,419	\$ 10,594	\$ 175
Nov	10,483	10,419	10,615	196
Dec	10,654	10,419	10,599	180
Jan	10,467	10,419	10,566	147
Feb	10,438	10,419	10,520	101
Mar	10,445	10,419	10,540	121
Apr	10,433	10,419	10,599	180
May	10,448	10,419		
Jun	10,485	10,419		
Jul	10,562	10,419		
Aug	10,561	10,419		
Sep	10,568	10,420		
<b>TOTAL</b>	<b>\$ 125,982</b>	<b>\$ 125,029</b>	<b>\$ 74,034</b>	<b>\$ 1,101</b>
Budget	\$ 130,700	\$ 125,029	\$ 125,029	
Over/(under)	\$ (4,718)		\$ (50,995)	
YTD % collected			59.2%	



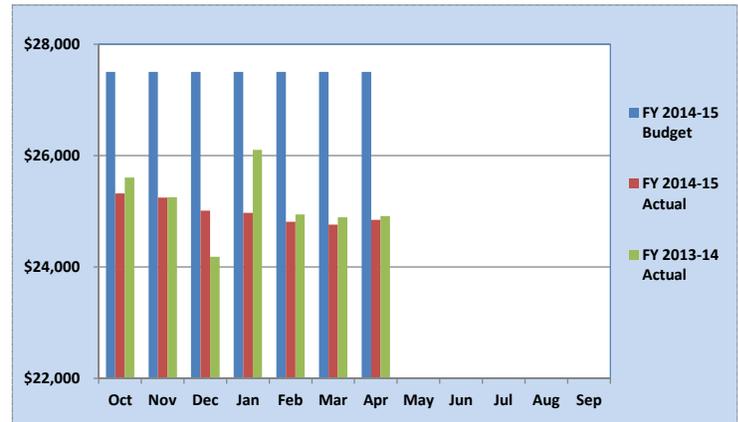
**Garbage & Recycling Fees**

**Description:** Revenue collected from garbage and recycling fees are charged for the residential and the commercial solid waste collection services. The Town of Pantego outsources this service, therefore the revenue collected through utility billing serves to cover the cost of the service to the Town.

**Analysis:** Garbage and recycling revenue collections through April 30th exceeded projections by \$1,101. Compared to last year's revenue of \$73,358, actual collections this year of \$74,034 reflect an increase of \$676 or 0.9%. Even though the number of garbage and recycling accounts remain almost unchanged, the cost of the garbage and recycling services to the Town increased slightly this year.

**REVENUE ANALYSIS - Water and Sewer - Infrastructure Fund  
FY 2015 INFRASTRUCTURE IMPROVEMENT FEES**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 25,603	\$ 27,500	\$ 25,318	\$ (2,182)
Nov	25,248	27,500	25,245	(2,255)
Dec	24,184	27,500	25,009	(2,491)
Jan	26,104	27,500	24,968	(2,532)
Feb	24,940	27,500	24,813	(2,687)
Mar	24,889	27,500	24,758	(2,742)
Apr	24,915	27,500	24,847	(2,653)
May	24,915	27,500		
Jun	25,322	27,500		
Jul	25,252	27,500		
Aug	25,594	27,500		
Sep	23,147	27,500		
<b>TOTAL</b>	<b>\$ 300,113</b>	<b>\$ 330,000</b>	<b>\$ 174,958</b>	<b>\$ (17,542)</b>
Budget	\$ 330,000		\$ 330,000	
Over/(under)	\$ (29,887)		\$ (155,042)	
YTD % collected			53.0%	



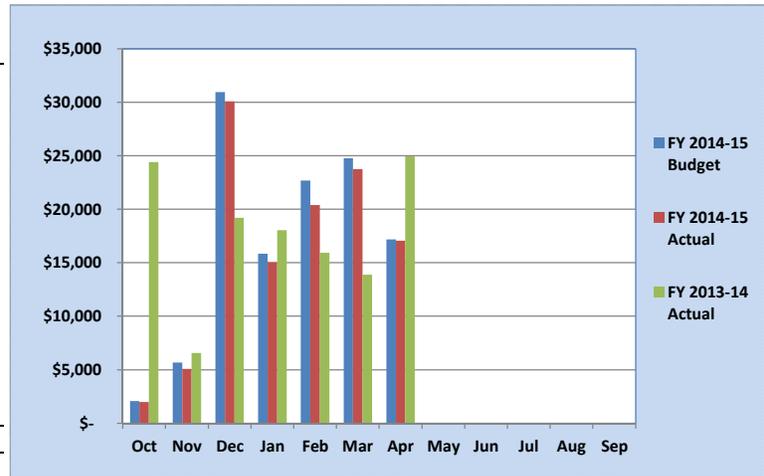
**Infrastructure Improvement Fee:**

**Description:** The object of the infrastructure improvement fee is to generate revenue from water sales by applying a specific charge that is based on the amounts of water each consumer consumes, and use it to pay for the water and sewer infrastructure projects identified by the water study commissioned by the Town Council in 2011.

**Analysis:** Revenue from infrastructure improvement fees through April 30th did not meet budget projections by \$17,542. When compared to last year revenue of \$175,883, this year's revenue for the same period decreased by \$925. If this trend continues through the end of the fiscal year, staff anticipates overall revenue to be about \$30,000 short of the original \$330,000 projection.

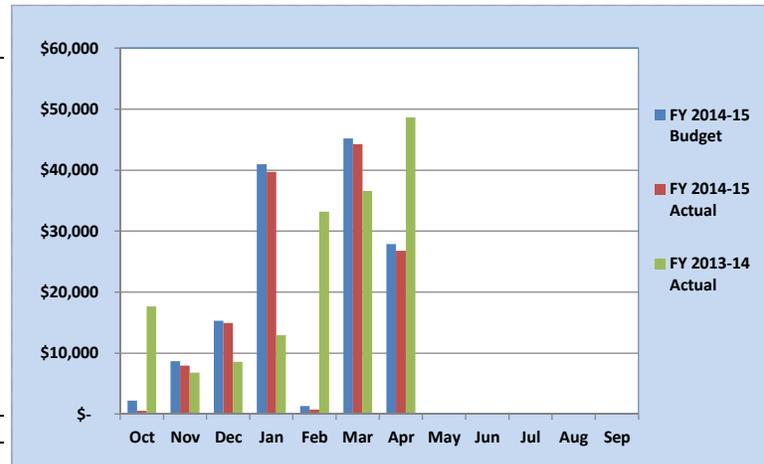
**EXPENSE ANALYSIS BY FUNCTION - Water and Sewer Operating Fund  
Water Department**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 24,410	\$ 2,083	\$ 1,975	\$ 108
Nov	6,560	5,656	5,073	583
Dec	19,214	30,967	30,108	859
Jan	18,043	15,857	15,039	818
Feb	15,934	22,703	20,394	2,309
Mar	13,888	24,789	23,766	1,023
Apr	24,953	17,180	17,056	124
May	14,864			
Jun	2,849			
Jul	22,989			
Aug	3,753			
Sep	134,477			
<b>TOTAL</b>	<b>\$ 301,935</b>	<b>\$ 119,235</b>	<b>\$ 113,411</b>	<b>\$ 5,823</b>
<i>Budget</i>	<i>\$ 292,887</i>	<i>\$ 324,070</i>	<i>\$ 324,070</i>	
<i>Over/(under)</i>	<i>\$ 9,048</i>		<i>\$ (210,659)</i>	
<i>YTD% expensed</i>			<i>35.0%</i>	



**EXPENSE ANALYSIS BY FUNCTION - Water and Sewer Operating Fund  
Sewer Department**

MONTH	FY 2013-14 Actual	FY 2014-15 Budget	FY 2014-15 Actual	Variance Favorable (Unfavorable)
Oct	\$ 17,659	\$ 2,199	\$ 561	\$ 1,638
Nov	6,799	8,699	7,943	756
Dec	8,565	15,300	14,960	340
Jan	12,974	40,996	39,725	1,271
Feb	33,206	1,329	738	591
Mar	36,584	45,199	44,250	949
Apr	48,641	27,898	26,778	1,120
May	780			
Jun	7,698			
Jul	48,002			
Aug	28,949			
Sep	73,237			
<b>TOTAL</b>	<b>\$ 323,094</b>	<b>\$ 141,620</b>	<b>\$ 134,955</b>	<b>\$ 6,665</b>
<i>Budget</i>	<i>\$ 331,605</i>	<i>\$ 373,383</i>	<i>\$ 373,383</i>	
<i>Over/(under)</i>	<i>\$ (8,511)</i>		<i>\$ (238,428)</i>	
<i>YTD% expensed</i>			<i>36.1%</i>	





**TOWN OF PANTEGO, TEXAS**  
**Budget Summary of All Funds**  
**As of April 30, 2015**

**FISCAL YEAR 2014-2015**  
**SUMMARY OF ALL BUDGETED FUNDS**

	<u>BUDGET</u>	<u>YTD Actual</u>	<u>Variance Favorable (Unfavorable)</u>	<u>Percent Collected/ Expensed</u>
<b>REVENUES:</b>				
General Fund	\$ 3,732,484	\$ 2,610,822	\$ (1,121,662)	69.9%
Debt Service Fund	90,725	80,338	(10,387)	88.6%
Shamburger Fund	100	47	(53)	47.1%
Cartwright Fund	-	-	-	NA
Court Security Fund	15,000	7,555	(7,445)	50.4%
Court Technology Fund	32,000	19,214	(12,786)	60.0%
PantegoFest Fund	-	3,025	3,025	NA
Street Improvement Fund	260,332	163,016	(97,316)	62.6%
Park Row Fund	260,000	-	(260,000)	0.0%
Capital Project Fund	73,870	-	(73,870)	0.0%
Water/Sewer Operating	919,700	470,657	(449,043)	51.2%
Water/Sewer Construction	-	-	-	NA
Water/Sewer Infrastructure	330,000	174,958	(155,043)	53.0%
<b>Total Revenues</b>	<b>\$ 5,714,211</b>	<b>\$ 3,529,631</b>	<b>\$ (2,184,580)</b>	<b>61.8%</b>
<b>EXPENSES:</b>				
General Fund	\$ 4,034,978	\$ 2,206,184	\$ 1,828,794	54.7%
Debt Service Fund	87,475	3,860	83,615	4.4%
Shamburger Fund	1,200	871	329	72.6%
Cartwright Fund	3,500	3,473	27	99.2%
Court Security Fund	2,773	2,698	75	97.3%
Court Technology Fund	13,175	6,748	6,427	51.2%
PantegoFest Fund	-	4,766	(4,766)	NA
Street Improvement Fund	446,000	3,083	442,917	0.7%
Park Row Fund	1,767,000	6,951	1,760,049	0.4%
Capital Project Fund	299,078	235,483	63,595	78.7%
Water/Sewer Operating	697,453	248,365	449,088	35.6%
Water/Sewer Construction	368,800	15,965	352,835	4.3%
Water/Sewer Infrastructure	229,000	-	229,000	0.0%
<b>Total Expenses</b>	<b>\$ 7,950,432</b>	<b>\$ 2,738,446</b>	<b>\$ 5,211,986</b>	<b>34.4%</b>

THIS PAGE INTENTIONALLY LEFT BLANK



## PANTEGO PUBLIC SAFETY



### **PUBLIC SAFETY MONTHLY ACTIVITY SUMMARY- April 2015**

#### **Personnel**

Interviews for the position of police officer and dispatcher are in progress and we are hopeful that we will soon fill our vacant positions.

#### **Operational Issues**

##### **Fire Department**

The new ambulance is stocked with all required equipment and supplies and is still awaiting approval of its license. The ambulance was on display for Council on April 13<sup>th</sup>.

Engine-1 is currently having its transmission cooler replaced. The new Lucas chest compression device was delivered and all personnel have been trained on its use.

Personnel are issuing weed violation warnings to non-compliant properties and so far have received cooperation from most owners.

Fire inspection billing totaled approximately \$2,000 for the month of April.

##### **Police Department**

So far the department has received two applications for solicitor's permits. Both applications were processed without incident and the permits issued.

#### **Training**

##### **Fire Department**

Live fire training at Tarrant County College is scheduled for May 7-9<sup>th</sup> at Tarrant County College. Dalworthington Gardens is expected to send personnel to participate with our department. Arlington Fire Department hosted a hazmat refresher course, which our personnel attended.

##### **Police Department**

Dispatcher Tabitha Griffith attended a three day Communications Training Officer class, which has prepared her to train new dispatchers. Officer Christine Hubbell Attended a Human Trafficking class.

#### **Emergency Management**

The Town's Emergency Management Plan was submitted to the State Department of Emergency Management and was approved. Thanks to staff for their input on their respective areas of responsibility.

The severe weather on April 24<sup>th</sup> resulted in some moderate to severe damage to Town businesses and residences. Public Safety personnel were quick to respond to all reports of damage including power outages and power line calls. Josh Brown, with Public Works, responded quickly to the need to remove a large tree from the roadway on Cresthaven. Other weather related issues were a power outage at Shady Valley Apartments, which was resolved by 2:30 a.m. and a power outage from Park Row & Milby eastward to the town limits, which was restored at 8:45 p.m.



3216 W. Park Row



Whispering Trail



Crest Haven

Respectfully submitted,

Thomas D. Griffith  
Chief of Public Safety

# PANTEGO POLICE DEPARTMENT OFFICER ACTIVITY REPORT

April, 2015

## Citations/Traffic Stops

<b>Officer</b>	<b>Citations</b>	<b>Traffic Stops</b>	<b>Citations YTD</b>
Griffith	0	1	2
Reeves	2	5	22
Moore	51	46	402
Bruton	94	92	305
Hubbell	99	85	482
Meinke	58	41	241
Marquez	13	36	111
Morgan	47	93	245
Open Position			
Watson	101	70	440
Martin	74	67	124
Whitwell	0	0	0
<b>TOTALS</b>	<b>539</b>	<b>536</b>	<b>1,815</b>
<b><u>Vehicle Crashes</u></b>			
<b>Crash Type</b>	<b>Quantity.</b>		<b>YTD</b>
<b>Minor</b>	5		17
<b>Major</b>	2		15
<b>Hit &amp; Run</b>	1		1
<b>TOTALS</b>	8		33
<b>Crashes reported to State</b>	2		21

## Incident Activity

<b>Officer</b>	<b>Total Calls</b>	<b>Dispatch</b>	<b>Self- Initiated</b>	<b>Arrests</b>	<b>Ytd/ arrests</b>
400 Griffith	3	1	2	0	0
600 Reeves	29	14	15	0	2
610 Whitwell	15	8	5	0	0
620 Moore	180	38	133	9	75
602 Bruton	374	39	319	11	36
603 Hubbell	196	18	178	6	27
604 Meinke	248	52	176	9	48

# PANTEGO POLICE DEPARTMENT OFFICER ACTIVITY REPORT

605	Marquez	182	25	151	3	27
606	Morgan	256	32	216	16	83
Open Position						
608	Watson	201	48	141	6	38
609	Martin	301	36	256	27	45
710	Alexander				4	16
711	Hopkins				3	16
<b>Totals</b>		<b>1,985</b>	<b>311</b>	<b>1,592</b>	<b>94</b>	<b>413</b>

**Average Response Time 2:13**

Respectfully,



Barry Reeves  
Assistant Chief of Police

# PANTEGO POLICE DEPARTMENT CRIMINAL INVESTIGATIONS REPORT



This report includes cases received in CID for the month of April, 2015 including cases filed with the District Attorney's office, active cases, and offenses cleared.

<b>Offenses Received</b>	<b>Quan.</b>	<b>YTD</b>
Assault	0	4
Assault Family Violence	1	1
Burglary/Building	1	3
Burglary/Coin-op	0	0
Burglary/Vehicle	0	3
Burglary/Residence	1	3
Manufacture and Delivery	0	2
Criminal Mischief	1	6
DWI	7	23
DWLI	1	1
Evading or Resisting Arrest/Detention	1	3
Failure to ID	2	11
Fraud	5	12
Graffiti	0	0
Poss. Controlled Subst.	3	16
Poss. Marijuana	3	27
Robbery	0	0
Theft	4	22
Theft of Motor Vehicle	0	1
Other	3	11
<b>Total Received</b>	<b>33</b>	<b>149</b>

<b>Case Dispositions of Above Totals</b>	<b>Month</b>	<b>YTD</b>
Cases Active	11	44
Cases Cleared	22	100
Cleared Cases Filed with DA	10	56
Cases Suspended-Pending Leads	0	5

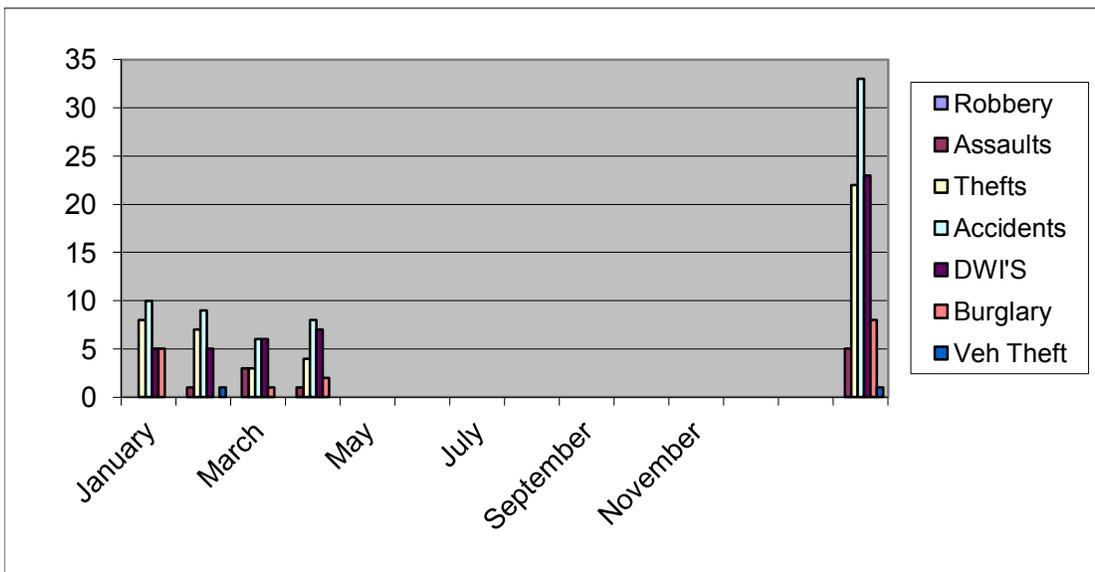
<b>Cases Filed with DA from Previous Report Periods</b>	1	14
---	---	----

Respectfully submitted,

Chris Whitwell, Detective

2015 Crime Stat's

2015 Monthly	Robbery	Assaults	Thefts	Accidents	DWI'S	Burglary	Veh Theft
January	0	0	8	10	5	5	0
February	0	1	7	9	5	0	1
March	0	3	3	6	6	1	0
April	0	1	4	8	7	2	0
May							
June							
July							
August							
September							
October							
November							
December							
Totals	0	5	22	33	23	8	1



<b>PANTEGO FIRE RESCUE</b>							
<b>MONTHLY ACTIVITY SUMMARY</b>							
<b>04030/2015</b>							
							
<b>FIRE RESPONSES</b>		<b>PANTEGO</b>			<b>AFD</b>		
		<b>MONTH</b>	<b>15 YTD</b>	<b>14 YTD</b>	<b>MONTH</b>	<b>15 YTD</b>	<b>14 YTD</b>
<b>TYPE OF INCIDENT</b>							
<b>Fire</b>							
Structure				1	2	4	3
Outside					1	1	2
Natural Vegetation Fire			1	2		1	2
Vehicle							
Trash				1		1	
Cooking Fire, Contained to container							
Fire Other			1		2	3	
<b>Hazardous Condition</b>							
Arcing - Shorted Electrical Equip.			1			2	1
Equip. Malfunction							
Power Lines		2	2	1	1	3	
Hazmat							
Hazardous Condition, Other		1	2		1	6	1
Heat From Short Circuit, Wiring				1			
Overheated Motor					1	2	
Gas/Fuel Spill							
Natural Gas Leak				2		1	
Chemical Spill or Leak							
Carbon Monoxide							
<b>Service Call</b>		<b>4</b>	<b>10</b>		<b>2</b>	<b>3</b>	
Water or Steam Leak		1	5			2	1
Assist Invalid		3	19	18	1	7	2
Unauthorized Burning					1	3	1
Rescue						2	
Utilities							
Smoke Removal							1
Person in Distress, Other			5	2			1
Service Call, Other		1	4	2		2	
Lock Out			2			2	
Animal Rescue		1	1		1	1	
Ring or jewelry removal							
Assist PD		4	9	2			1
<b>Good Intent Call</b>							
Good Intent Call Other		5	21	13	5	24	10
Dispatched & Cancelled En Route					17	17	17
Wrong Location							
No Incident Found On Arrival				1		2	3
Investigation							
Cancelled On Scene					23	64	40
Smoke scare, Odor of smoke			2	1			
Hazmat Invest, No Hazmat							
<b>False Alarm &amp; False Call</b>							

Unintentional Transmission of Alarm					2	3	
Smoke Detector Activation - No Fire	2	3	2	1	1	2	
Bomb Scare - No Bomb							
System Malfunction					1	1	
False Alarm or False Call, Other	3	4	5	3	10	8	
CO Detector Activation, Malfunction			1			1	
Sprinkler Activation, no fire							
<b>Special Incident Type</b>							
Citizen Complaint							
Special Incident Type, Other							
Mutual Aid							
<b>TOTAL FIRE INCIDENTS</b>	<b>27</b>	<b>92</b>	<b>73</b>	<b>62</b>	<b>167</b>	<b>123</b>	
<b>AVERAGE FIRE RESPONSE TIME - PANTEGO</b>		2.75					
<b>AVERAGE FIRE SCENE TIME - PANTEGO</b>		32.25					
<b>AVERAGE FIRE TIME - ARLINGTON</b>		22.9					



PANTEGO FIRE RESCUE						
MONTHLY ACTIVITY SUMMARY						
30-Apr-15						
						
<b>FIRE TRAINING</b>						
<b>CLASS SUBJECT</b>	<b>HOURS</b>					
HazMat Above/ Below the line	8					
<b>TOTAL HOURS</b>						
<b>EMS TRAINING</b>						
<b>CLASS SUBJECT</b>	<b>HOURS</b>					
TCC Airway Management	4					
<b>TOTAL HOURS (Per person)</b>	<b>4</b>					
<b>PUBLIC EDUCATION</b>						
	<b>MONTH</b>	<b>YTD</b>	<b>MONTH</b>	<b>YTD</b>	<b>MONTH</b>	<b>YTD</b>
			<b>ADULTS</b>		<b>CHILDREN</b>	
Fire Extinguisher Class						
School Presentations						
B-day parties						
Spray Downs						
Station Tours		1	10	10	25	25
Special Events	1	1	100	100	200	200
Home Inspections						
Public Safety Forums						
Fall Risk Assessment						
<b>TOTAL CONTACTS</b>						
<b>BUSINESS INSPECTIONS</b>						
	<b>MONTH</b>	<b>YTD</b>				
Initial	100	229				
<b>Re-Inspections</b>						
Plans Review Completed	1	5				
C.O Issued	9	29				



## PUBLIC WORKS REPORT April 2015

### **AMINISTRATIVE/PROJECTS/ENGINEERING**

- Conducted site meetings with electrical contractors to obtain proposals for related work at Lane Well #2.
- Conducted a site meeting with Metro Pipe to develop a repair plan for the storm water piping through Preston Trail
- TCEQ conducted a compliance inspection for the operations and maintenance of the water system
- Preconstruction Meeting for the Park Row Project was held and a notice to proceed was issued to the Contractor
- Met with TxDot and the contractor to close out the 303 medians (Green Ribbon Project)
- Conducted a site meeting at Pioneer Pkwy, west of Bowen with Deltatek Engineering to obtain a opinion of probable cost and a subsequent Engineering Services Proposal to construct a waterline crossover connection.
- Private Development: Dollar Tree installed 2 control valves, 1 fire line valve, 1 hydrant valve and hydrant. Inspections continue as the contractor proceeds.



## **STREETS and DRAINAGE**

- Joshua Brown was called to the 1700 Blk of Cresthaven, on April 24th to remove a tree that had fallen after a storm
- Replaced 9 street signs that were old and faded
- Replaced "Children at Play" sign and base at Roosevelt and Sarah Dr
- Place stop signs to assist PD with power outages
- Inspected and removed debris from creek channel and flumes
- Pioneer Parkway medians sprayed for weeds and fresh mulch was added
- Filled pothole at 1611 Wagonwheel approximately 2sq ft
- Filled pothole at 2001 Silverleaf approximately 15sq ft
- Filled pothole at 2 Gregory approximately 15sq ft
- Mowed, edge, and blow Pompano Court, JD Hollis Cemetery, Westchester, Arkansas medians, basketball courts and Pebblebeach Ct

## **TOWN FACILITIES**

- Daily general policing of the Town Hall building and surrounding area
- Replaced 8 lights and 2 ballast in fixtures at Town Hall
- Town Hall and Police Dept. was mowed, edged, and blown off

## **PARK OPERATIONS**

- Basketball courts sprayed for weeds, mowed, weed eaten and blown
- Daily cleaning at the restrooms
- Park mowed by Contractor

## **UTILITY BILLING**

April Billing for 1,200 Accounts \$90,156.54	April Past Due Balances \$3,368.37
April Billing for Garbage \$7,756.13	April Billing for Recycling \$2,052.64

## **WATER: WELLS AND DISTRIBUTION**

- Total water production 11,802,000
- Average daily production 393,400
- 162 residual samples taken – average chlorine residual (.40)
- 2 total coliform / ecoli samples taken – all tests negative
- 1200 meters read

## **CONTINUED: WATER WELLS AND DISTRIBUTION**

- 26 dead end hydrants flushed
- Replaced failed PSI gauge on Nora Well
- Hydrant excavated and repaired at 2401 W. Pioneer
- Corrpro inspected elevated tank for cathodic protection and corrosion
- Nora, 303, Lane, and Stolper well site mowed, edged, and blown
- 8 Valves were exercised
- 2 hydrants were exercised

## **WASTEWATER**

- Cleaned the Lift Station bar screen and bagged the solids (13) times for the month.
- Lift Station was mowed, edged, and blown
- Ran sewer camera in service line to look for breaks at 9 Country Club Ct. Sinkholes in yard determined to be from settling from prior sewer line break and repair by homeowner

## **PUBLIC WORKS MAINTENANCE**

- Oil change on (3) trucks
- De-Icer spreader repaired, under warranty
- Took scrap metal to scrap yard
- New tires installed on (1) truck

## **ANIMAL SERVICES**

- (1) Dog was picked up and taken to Ft Worth Animal Services
- (1) Cat was picked up and taken to Ft Worth Animal Services
- Mosquito traps placed and recovered and taken to Tarrant County for analysis

## **EVENTS**

- Very good turnout for the Easter Event
- Clean up Day was successful, with 210 loads recorded, 180 cubic yards of trash loaded, along with household hazardous waste brought to our designated location for disposal



## **ADDITIONAL ITEMS**

- Good Friday Holiday on April 3rd
- Scott Williams and Simon McCurley celebrated Birthday's
- Scott Williams and Joshua Brown attended a Pavement Management program at the North Central Texas Council of Governments
- Simon McCurley and Junior Marquez attended a Water Lab Class in Ft Worth
- Mosquito spraying took place on 4-23



## ENVIRONMENTAL SERVICES

### • **Storm Water Ordinance**

Staff has been working to update the Storm Water Ordinance for the Town. The proposed ordinance is still being reviewed by the City Attorney and will be presented to Town Council as soon as that review is complete.

### • **West Nile Testing**

	2600 Miller Lane	3613 Shady Valley Drive	Roaming #1	Roaming #2
4/8		10	1 (1600 Stolper Lane)	
4/15	19	112	85 (1701 Silverleaf Drive)	52 (7 Grant Place)
4/22	7	29	3 (1604 Nora Drive)	14 (2308 Stockbridge Court)
4/29	15	20	40 (3005 Smith Barry Rd)	58 (1610 Wagonwheel Tr)

This season Tarrant County is monitoring for human cases of the following viruses:

- Dengue Virus (DENV)
- Chikungunya Virus (CHIKV)
- St. Louis Encephalitis Virus (SLEV)
- West Nile Virus (WNV)

To this point, there has been one reported case of DENV that is believed to be imported from another location.

Mosquito testing will be limited to WNV and SLEV as in past years. The gravid traps that we use for testing are effective at catching the *Culex quinquefasciatus* mosquito (carriers of WNV and SLEV), but are ineffective at catching *Aedes aegypti* mosquito and *Aedes albopictus* mosquito (the carriers of DENV and CHIKV). If CHIKV becomes more prevalent in this area, an additional type of trap and testing may be required to better monitor *Aedes* mosquitoes.

## PLANNING AND ZONING

### • **Zoning Ordinance Update**

Town Council met on April 20, 2015 to discuss the Zoning Ordinance Update. The initial review of the update is now complete and staff is working to complete a final draft and produce additional documentation for a final review. The update will be discussed further at the Town Council meeting on May 18, 2015.

- **Lakewood Shopping Center Sign**

The Town Council approved the Special Use Permit to replace the sign cabinets for the Lakewood Shopping Center multi-tenant pole sign at the Town Council meeting on April 13, 2015. The applicant submitted plans for a raised stone planter to be installed at the bottom of the sign that was acceptable to the Council and met requirements of the sign code.

- **ASE ICE Special Use Permit Update**

The owner of the ASE ICE at 1555 S Bowen Road has made application to renew his Special Use Permit. The SUP was originally approved in 2011 with expiration after five years of use. The owner is requesting an extension of the SUP until 2026. This item will be placed on the Planning and Zoning Commission agenda for May 4, 2015.

- **Linda Simic Special Use Permits**

Linda Simic Has applied for Special Use Permits to locate an alcoholic beverage establishment at 2304 W Park Row Drive #25 in the Lakewood Shopping Center. This use would require a Special Use Permit for the use itself, alcoholic beverage establishment, and a separate SUP for alcohol sales. These items will be placed on the Planning and Zoning Commission agenda for May 4, 2015.

- **Verizon Special Use Permit**

Verizon Wireless has applied to amend the Special Use Permit for the cellular tower at 3253 W Pioneer Pkwy, in Northlake Shopping Center, to collocate antennae and ground equipment on the existing tower and site. This item will be placed on the Planning and Zoning Commission agenda for May 4, 2015.

- **The Prayer Room**

Brad Stroup has made application for a Special Use Permit to establish a ministry center at 1503 Nora Drive. This application will be placed on the Planning and Zoning Commission agenda for June 1, 2015.

- **Church of Hope, Inc.**

Philip E. Parker has made application for a Special Use Permit to establish a church at 2401 W Pioneer Pkwy #151 in the Pecan Park Shopping Center. This application will be placed on the Planning and Zoning Commission agenda for June 1, 2015.

- **Craig Porter Variance Request**

The owner of the property at 2719 Mistletoe Court rescinded the request for variance from the requirement that a sidewalk be installed across the front of his property. The Zoning Board of Adjustments was unable to meet until the middle of May due to a lack of available quorum. The delay in being able to occupy the residence was not acceptable to the applicant, so the choice was made to install the sidewalk.

## CONSTRUCTION AND DEVELOPMENT

- **2424 West Park Row Drive**

The construction of Dairy Queen is complete and the location should be open in mid-May.

- **2303 West Park Row Drive**

Grading and utility work has begun for a 10,000 square foot building on the Westbury Square property. The building will be occupied by Dollar Tree.

- **Camp Thurman**

The pool improvements for Camp Thurman are well underway. The concrete has been poured for the pool remodel and lazy river. The pool mechanical building and utility upgrades are under construction as well.

- **1607 S Bowen Road**

Plans and permits have been approved for the remodel of the 5,400 square foot building at 1607 S Bowen Road (previously Papa Murphy's and Bullchicks). The new use will be Complete Emergency Care, a 24-hour emergency care clinic. Demolition of the building interior is underway.

- **1503 Nora Drive**

Plans and permit applications have been submitted to remodel the existing two-story building at 1503 S Bowen Road. Proposed improvements include the enclosure of the area under the second story balcony, enclosure of the stairways and interior remodel. The plans are under review.

- **2416 W Park Row Drive**

Dr. Jeckyll's Beer Lab has submitted plans and permit applications to expand to an adjacent suite and to the exterior of the present building. The interior remodel will include additional seating area, a future kitchen and office space. The plans also include an outside patio seating area under the existing sidewalk awning. Plans are presently under review.

- **2227 W Park Row Drive, Suite C**

Plans and permits have been approved for the remodel of this suite in Park Row West shopping center. Elgan's Salon will be moving from their present location in the same shopping center to this location. Construction is underway.

- **2304 W Park Row Drive, Suite 25**

Plans and permit applications have been submitted by Mijo's Mexican Restaurant to remodel the interior and patio areas of their restaurant. The proposed improvements would include a new bar, improved patio access, a new grease trap and the enclosure of the kitchen area. Plans are presently under review.

- **Mistletoe Court Construction**

Construction of a 5,531 square foot single-family residential building at 2917 Mistletoe Court is ongoing.

- **Park Row Court Construction**

Construction of a 3,445 square foot single-family residential building at 14 Park Row Court is ongoing.

- **Nora Drive Construction**

Plans and permits have been submitted to construct a 3,083 square foot single-family residential building at 1704 Nora Drive. The plans are currently under review.

- **Smith Barry Farms Subdivision**

- Construction of a 3,187 square foot single-family residential building at 2610 Melbourne Court is ongoing.
- Construction of a 2,514 square foot single-family residential building at 1906 Melbourne Drive is complete and finals have been approved.

## CERTIFICATES OF OCCUPANCY

### Issued

- King of Kings Upholstery – 2103 W Pioneer Pkwy #321 – Automotive Upholstery – New Business
- Discount TV Shop – 2026 W Pioneer Pkwy (C4) – TV Repair – New Business
- Allison Air Conditioning – 3610 W Pioneer Pkwy #104 – HVAC – New Business
- RJ Construction – 2912 W Park Row Dr (A) – General Contractor – New Business

- Pro Clips – 1517 S Bowen Rd – Hair Salon – New Business
- Jewel Nutrition – 2304 W Pioneer Pkwy #3 – Nutrition Store – New Business
- Fabit – 2026 W Pioneer Pkwy (D5) – Hobby Shop – New Business
- Prospect Mortgage, LLC – 2025 Miller Ln #102-104 – Mortgage Services – New Business
- Dairy Queen – 2424 W Park Row Dr – Restaurant – New Business

### Pending

- Brighter Days STEM Academy – 2221 W Arkansas Ln #106 – Learning Center – New Business
- Kap-Stohn Electric – 2407 W Park Row Dr (B) – Electrical Contractor – New Business
- Luxury Autosports – 1924 W Pioneer Pkwy (A) – Auto Repair – New Business
- United Educators Association – 2918 W Park Row Dr – Educator Association – New Business

### INSPECTIONS

	MAR TOTAL	YTD TOTAL
BUILDING INSPECTION	4	44
CERTIFICATE OF OCCUPANCY	9	56
CUSTOMER SERVICE INSPECTION	1	2
ELECTRICAL INSPECTION	12	41
MECHANICAL INSPECTION	4	23
PLUMBING INSPECTION	17	75
REINSPECTION	13	69
CODE ENFORCEMENT INSPECTIONS	10	56
TOTAL INSPECTIONS	70	366

### CONSTRUCTION VALUES

	MAR TOTAL	2014/2015 YTD TOTAL	2013/2014 MAR YTD TOTAL
NEW RESIDENTIAL CONSTRUCTION	\$0.00	\$55,000.00	\$1,395,000.00
EXISTING RESIDENTIAL REMODEL	\$53,124.00	\$219,071.00	\$212,700.00
NEW COMMERCIAL CONSTRUCTION	\$0.00	\$1,863,538.00	\$0.00
EXISTING COMMERCIAL REMODEL	\$1,097,950.00	\$1,632,869.00	\$588,546.00
TOTAL VALUE	\$1,151,074.00	\$3,770,478.00	\$2,196,246.00

## FEES COLLECTED

	APR TOTAL	APR FEES	YTD TOTAL	YTD FEES	YTD BUDGET	YTD DIFF.
CERTIFICATE OF OCCUPANCY	10	\$1,000.00	51	\$4,920.00	\$4,083.33	\$836.67
ZONING FEES	4	\$1,900.00	9	\$5,200.00	\$4,375.00	\$825.00
DEVELOPMENT FEE	1	\$200.00	2	\$1,082.80	\$0.00	\$1,082.80
PLAN REVIEW	5	\$2,104.89	17	\$7,012.65	\$4,083.33	\$2,929.32
BUILDING PERMIT	31	\$7,772.50	160	\$27,604.73	\$27,416.67	\$188.06
UTILITY RELEASE	6	\$240.00	14	\$560.00	\$175.00	\$385.00
CONTRACTOR REGISTRATION	12	\$1,150.00	77	\$7,400.00	\$6,416.67	\$983.33
LIQUOR PERMITS	0	\$0.00	10	\$5,670.00	\$1,166.67	\$4,503.33
<b>TOTAL FEES</b>		<b>\$14,367.39</b>		<b>\$59,450.18</b>	<b>\$46,550.00</b>	<b>\$12,900.18</b>




---



---

**MUNICIPAL COURT**


---



## Municipal Court Collections / APRIL 2015

### On-Time Citations

Fines- \$27,635.93  
Fees- \$13,796.08  
 Total- \$41,432.01

### Warrants

Fines- \$46,977.57  
Fees- \$20,724.75  
 Total- \$67,702.32

Court Security Fund- \$1,228.00

Court Technology Fund- \$1,641.10

Accident Reports- \$10.00

Collection Fees- \$1,482.30

Gross Total Revenue- \$109,134.33

Less State Fee's- \$ 34,520.83

Net Revenue- \$ 74,613.50

Presented by: Thressa Householder



## WARRANT MONTHLY TOTALS FOR APRIL 2015

<b>TOTAL WARRANTS VALUE CLEARED</b> -----	\$96,393.12
FYTD-----	\$600,228.82
<b>TOTAL PAYMENTS COLLECTED</b> -----	\$70,607.62
FYTD-----	\$394,864.87
<b>TOTAL NON-CASH CLEARED</b> -----	\$25,785.50
FYTD-----	\$194,993.40
<b>WARRANT FEES COLLECTED</b> -----	\$11,770.52
FYTD-----	\$63,240.62
<b>BONDS/FORFEITURES</b> -----	\$0
<b>TOTAL PHONE CALLS</b> -----	710 - 273 OUT 259 IN
	711 - 426 OUT 188 IN
	Tot - 699 Tot - 447
<b>TOTAL POST CARDS</b> -----	710 - 182
	711 - 31
	Tot - 213
<b>PERSONAL STOPS/ATTEMPS</b> -----	1
<b>CONTACTS</b> -----	1
<b>DOOR HANGERS</b> -----	1
<b>ARRESTS</b> -----	710 - 4
	711 - 3
	Tot - 7
<b>PAY PLANS</b> -----	710 - 27
	711 - 24
	Tot - 51
<b>BONDS/COURT DATES</b> -----	710 - 4
	711 - 5
<b>BOND AMOUNT</b> -----	710 - \$8,362.00
	711 - \$7,192.00
<b>LETTERS</b> -----	710 - 84
	711 - 68
<b>TOTAL WARRANTS CONTACTED</b> ----	710 - 175
	711 - 220
<b>TOTAL WARRANTS CLEARED</b> -----	710 - 168
	711 - 218

<b>TOTAL VALUE-----</b>	<b>710 - \$55,884.50</b>	<b>711 - \$69,265.50</b>
<b>TOTAL AMOUNT COLLECTED-----</b>	<b>710 - \$16,573.30</b>	<b>711 - \$26,264.70</b>
<b>FUTURE REVENUE-----</b>	<b>710 - \$21,018.50</b>	<b>711 - \$23,099.10</b>

**EXTRA DUTIES/VACATION/OTHER FOR APRIL**

Ofcr. Hopkins out total 1 day – medical

Ofcr. Alexander out 1 day, personal

31 Total Calls for Service

19 Prisoner Services

3 Assists

23 Arraignments

8 Prisoner Releases

1 Prisoner Transfers

Additional warrants cleared – 226

**Respectfully submitted,**

**Warrant Officer: Freddie Alexander 710**

**Warrant Officer: Robert Hopkins 711**

Report for fees collected: 3/24/2015 - 4/30/2015

Street:

Fee	Citation	Violation	Amount	Posting Date	Docket
COLAGY COLLECTIONS FEE	132533	02	145.80	4/14/2015	132533 02
COLAGY COLLECTIONS FEE	133660	01	88.50	4/21/2015	133660 01
COLAGY COLLECTIONS FEE	133660	02	52.50	4/21/2015	133660 02
COLAGY COLLECTIONS FEE	136699	01	114.00	4/13/2015	136699 01
COLAGY COLLECTIONS FEE	140415	01	67.50	3/27/2015	140415 01
COLAGY COLLECTIONS FEE	140415	02	82.50	4/28/2015	140415 02
COLAGY COLLECTIONS FEE	144902F	02	38.70	3/31/2015	144902F02
COLAGY COLLECTIONS FEE	144902F	03	90.00	3/31/2015	144902F03
COLAGY COLLECTIONS FEE	146933	01	91.50	4/16/2015	146933 01
COLAGY COLLECTIONS FEE	501197	01	49.50	4/10/2015	501197 01
COLAGY COLLECTIONS FEE	501197	02	46.50	4/10/2015	501197 02
COLAGY COLLECTIONS FEE	501197	03	46.50	4/10/2015	501197 03
COLAGY COLLECTIONS FEE	E006237	01	69.00	4/23/2015	E006237 01
COLAGY COLLECTIONS FEE	E006237	02	54.00	4/23/2015	E006237 02
COLAGY COLLECTIONS FEE	E006237V	01	91.50	4/23/2015	E006237V01
COLAGY COLLECTIONS FEE	E006237V	02	91.50	4/23/2015	E006237V02
COLAGY COLLECTIONS FEE	E006472	01	54.00	4/07/2015	E006472 01
COLAGY COLLECTIONS FEE	E006472	02	69.00	4/07/2015	E006472 02
COLAGY COLLECTIONS FEE	E006472	03	61.50	4/07/2015	E006472 03
COLAGY COLLECTIONS FEE	E006472V	01	91.50	4/07/2015	E006472V01
COLAGY COLLECTIONS FEE	E006472V	02	91.50	4/07/2015	E006472V02
COLAGY COLLECTIONS FEE	E006472V	03	91.50	4/07/2015	E006472V03

22 1,678.50 COLAGY COLLECTIONS FEE  
 TOTAL: 1,678.50

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
1	<b><u>Statewide Results by Reporting Entity Prepared by City of Austin Municipal Court</u></b>		
2			<i>Roundup Results Spreadsheet</i>
3			<i>Send to: roundup@austintexas.gov</i>
4			<i>Tel (512) 974-4820 / Fax (512) 974-4682</i>
5			<i>or email: roundup@ci.austin.tx.us</i>
6	<b>Reporting Entity</b>	<b># Warrants Cleared</b>	<b>Total Gross Collections (Costs, Fees, Fines, Bonds)</b>
7			
8		(All Warrants/Not Just Arrested)	(All Monies paid include bond payments and includes delinquent parking)
9	Abernathy Municipal Court	21	6,919.53
10	Addison Municipal Court	312	36,694.30
11	Alice Municipal Court, City of	65	12,825.54
12	Allen Municipal Court	441	83,844.96
13	Alvin Municipal Court, City of	76	18,463.00
14	Amarillo Municipal Court	2665	475,601.10
15	Andrews County JP #1	46	12,597.00
16	Andrews County JP #2 & #3	22	5,848.76
17	Andrews Municipal Court, City of	52	14,629.80
18	Angleton Municipal Court	237	51,215.79
19	Anson Municipal Court	24	6,361.83
20	Argyle Municipal Court	Not Reported	Not Reported
21	Arlington Municipal Court	6703	1,175,836.57
22	Aurora Municipal Court	3	906.10
23	Austin County JP #3	81	22,994.00
24	Austin Municipal Court	8997	2,674,147.51
25	Azle Municipal Court, City of	433	30,415.40
26	Balcones Heights Municipal Court, City of	149	32,096.52
27	Bastrop Municipal Court, City of	111	38,889.23
28	Bay City Municipal Court	94	16462.60
29	Baytown Muncipal Court, City of	1365	207077.48
30	Bedford Municipal Court	Not Reported	Not Reported
31	Bee County Criminal Court	Not Reported	Not Reported
32	Bellaire Municipal Court, City of	44	9,982.00
33	Belton Municipal Court	244	38,118.97
34	Big Spring Municipal Court	54	16,471.59

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
35	Boerne Municipal Court	37	9,659.22
36	Borger Municipal Court	1323	33,691.25
37	Brazos County Justice of the Peace, Pct. 2	Not Reported	Not Reported
38	Brenham Municipal Court, City of	212	127,733.74
39	Brookshire Municipal Court	Not Reported	Not Reported
40	Brownfield Municipal Court	Not Reported	Not Reported
41	Bryan Municipal Court	593	158,483.16
42	Buda Municipal Court	Not Reported	Not Reported
43	Bulverde Municipal Court, City of	Not Reported	Not Reported
44	Burleson Municipal Court	259	45,908.10
45	Caddo Mills Municipal Court	Not Reported	Not Reported
46	Cameron County Justice of the Peace Pct. 2, Pl. 2	Not Reported	Not Reported
47	Cameron County Justice of the Peace Pct. 5, Pl. 3	Not Reported	Not Reported
48	Canton Municipal Court	97	29,085.87
49	Canyon Municipal Court	93	18,547.10
50	Carrollton Marshal's Office	917	230,758.00
51	Castle Hills Municipal Court, City of	272	77,566.26
52	Cedar Hill Municipal Court	380	118,645.04
53	Cedar Park Municipal Court, City of	385	109,934.41
54	Center Municipal Court	Not Reported	Not Reported
55	Childress Municipal Court	Not Reported	Not Reported
56	China Grove Police Department	Not Reported	Not Reported
57	Cibolo Municipal Court	91	14,856.40
58	Cisco Municipal Court, City of	90	7,897.50
59	Cleburne Municipal Court	238	73,950.83
60	Cleveland Municipal Court	197	45,861.57
61	Cockrell Hill Police Department	485	74,005.21
62	College Station Municipal Court	397	73,995.50
63	Colleyville/Keller Municipal Courts	604	120,433.00
64	Collin County Constable Pct. 4	63	12,990.10
65	Colorado City Municipal Court	21	2,890.77
66	Colorado County	207	66,420.78
67	Colorado County Justice of the Peace, Pct. 3	Not Reported	Not Reported
68	Columbus Municipal Court, City of	9	2,810.80
69	Combes Municipal Court, Town of	Not Reported	Not Reported
70	Conroe Municipal Court	742	138,988.96
71	Coppell Marshal's Office	237	68,686.90
72	Corinth Municipal Court	108	41,615.00

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
73	Corpus Christi Municipal Court	524	69,510.01
74	Corsicana Municipal Court	169	41,244.10
75	Crowley Municipal Court	203	34,326.14
76	Dalhart Municipal Court	38	11,694.10
77	Dallam County Justice of the Peace	38	11,694.10
78	Dallas County Sheriff's Department	Not Reported	Not Reported
79	Dallas Marshal's Office, City of	7015	1,234,028.25
80	Dangerfield Municipal Court	100	26,054.18
81	Dawson County Justice of the Peace	Not Reported	Not Reported
82	De Kalb Municipal Court	38	3,294.00
83	Decatur Municipal Court	Not Reported	Not Reported
84	Deer Park Municipal Court	568	100,304.91
85	Denton County Constable Pct. 2	209	27,612.16
86	Denton County Justice of the Peace	505	44,823.68
87	Denton Municipal Court	682	121,980.00
88	Desoto Municipal Court, City of	686	34,270.51
89	Diboll Municipal Court	Not Reported	Not Reported
90	Dickens County Justice of the Peace	Not Reported	Not Reported
91	Dickinson Municipal Court	312	59,155.93
92	Double Oak Municipal Court	8	2,785.80
93	Duncanville Marshal Office	Not Reported	Not Reported
94	East Mountain Municipal Court, City of	74	6,325.59
95	Eastland Municipal Court		6,947.09
96	Elmendorf Municipal Court	36	13,581.00
97	Eules Municipal Court	1206	211,188.70
98	Everman Municipal Court, City of	Not Reported	Not Reported
99	Fairview Municipal Court	91	16,153.61
100	Farmers Branch Municipal Court	364	121,499.20
101	Fate Municipal Court, City of	66	11,194.53
102	Ferris Municipal Court, City of	Not Reported	Not Reported
103	Florence Municipal Court	25	10,769.47
104	Flower Mound Municipal Court, Town of	192	45,272.00
105	Forest Hill Municipal Court	1053	126,865.14
106	Forney Municipal Court	98	19,585.15
107	Fort Worth Municipal Court	9403	3,747,828.61
108	Friendswood Municipal Court	174	39,344.31
109	Frisco Municipal Court	1106	135,124.40
110	Fulshear Municipal Court, City of	36	11,684.20

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
111	Fulton Police Department	Not Reported	Not Reported
112	Galveston Municipal Court, City of	1124	150,753.38
113	Garland Municipal Court	1217	168,496.89
114	Gatesville Municipal Court	83	9,065.58
115	George West Municipal Court	385	108,535.92
116	Georgetown Municipal Court	134	37,992.18
117	Glen Heights Municipal Court	123	30,839.07
118	Goliad County Justice of the Peace, Pct. 1	70	24,833.88
119	Goliad County Justice of the Peace, Pct. 2	Not Reported	Not Reported
120	Grand Prairie Municipal Court	2437	454,854.90
121	Grandview Municipal Court, City of	174	58,615.19
122	Granite Shoals Municipal Court, City of	83	11,233.60
123	Grapevine Municipal Court	481	84,545.72
124	Grayson County Sheriff's Office	597	44,779.39
125	Groesbeck Municipal Court	36	9,995.14
126	Gun Barrel City Municipal Court	77	5,107.55
127	Hale Center Municipal Court	Not Reported	Not Reported
128	Haltom City Municipal Court	735	115,688.92
129	Harker Heights Municipal Court	638	86,714.16
130	Harris County Justice of the Peace	6096	875,239.80
131	Harris County Constable's Office Pct. 4	Not Reported	Not Reported
132	Haslet Municipal Court	74	14,325.93
133	Hays County Constable Office Pct. 1	Not Reported	Not Reported
134	Hays County Constables Office Pct. 5	88	25,864.32
135	Hays County Justice of the Peace Pct. 1, Pl. 1	19	5,447.07
136	Hays County Justice of the Peace Pct. 1, Pl. 2	34	11,547.16
137	Helotes Municipal Court, City of	59	17,208.16
138	Hempstead Municipal Court, City of	101	12,881.10
139	Hewitt Municipal Court		7,806.00
140	Hickory Creek Municipal Court, Town of	248	53,902.75
141	Hidalgo, County of	Not Reported	Not Reported
142	Holliday Municipal Court, City of	13	Not Reported
143	Houston Municipal Court	18893	1,733,226.84
144	Howard County Justice of the Peace Pct. 1, Pl. 2	54	16,471.59
145	Hudson Oaks Municipal Court	Not Reported	Not Reported
146	Humble Municipal Court	566	91,104.72
147	Huntington Municipal Court	39	14,092.32
148	Hurst Municipal Court	586	111,151.32

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
149	Hutto Municipal Court	Not Reported	Not Reported
150	Irving Municipal Court, City of	1969	302,343.53
151	Italy Municipal Court	37	8,792.89
152	Jefferson County Justice Court, Pct. 2	Not Reported	Not Reported
153	Johnson County Attorney's Office	Not Reported	Not Reported
154	Johnson County Clerk	57	21,989.09
155	Johnson County Justice of the Peace, Pct. 3	50	13,450.20
156	Johnson County Justice of the Peace, Pct. 1	14	4,811.30
157	Jones County Justice of the Peace	14	5,918.22
158	Jonestown Municipal Court	8	2,334.00
159	Joshua Municipal Court	134	40,454.30
160	Junction Municipal Court	28	7,646.90
161	Karnes City Municipal Court	11	3,409.70
162	Katy Municipal Court, City of	227	46,351.99
163	Kaufman County Justice of the Peace	96	23,971.10
164	Kaufman Justice of the Peace, Pct. 4	Not Reported	Not Reported
165	Kaufman Police Department	Not Reported	Not Reported
166	Keene Municipal Court	188	49,053.85
167	Keller Municipal Court	Not Reported	Not Reported
168	Kemah Municipal Court	Not Reported	Not Reported
169	Kennedale Municipal Court, City of	211	26,241.98
170	Kingsville Municipal Court	307	65,123.21
171	Kleberg County Justice of the Peace, Pct. 2	Not Reported	Not Reported
172	Knox City Municipal Court	7	2,033.75
173	La Marque Municipal Court, City of	338	107,623.21
174	La Porte Municipal Court	528	100,703.29
175	Lacy Lakeview Municipal Court, City of	107	18,340.99
176	Lago Vista Municipal Court, City of	26	6,917.98
177	Laguna Vista Municipal Court	Not Reported	Not Reported
178	Lake Dallas Municipal Court, City of	237	32,239.03
179	Lake Worth Municipal Court	300	39,260.40
180	Lakeway Municipal Court	187	53,849.78
181	Lamb County Justice of the Peace, Pct. 4	Not Reported	Not Reported
182	Lamb County Justice of the Peace, Pct. 3	Not Reported	Not Reported
183	Lampasas Municipal Court	114	15,577.46
184	Lancaster Municipal Court, City of	936	84,100.07
185	LaSalle County Justice of the Peace, Pct 1	Not Reported	Not Reported
186	Lavon Municipal Court, City of	47	3,419.00

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
187	League City Municipal Court	395	118,521.58
188	Leander Municipal Court	112	31,301.99
189	Levelland Municipal Court	85	13,541.90
190	Lewisville Municipal Court	439	94,537.82
191	Lindale Police Department	181	33,887.03
192	Little Elm Police Department	87	27,738.68
193	Live Oak Police Department	264	49,338.14
194	Llano County Justice of the Peace, Pct. 1	Not Reported	Not Reported
195	Llano Municipal Court	13	3,580.95
196	Lockhart Municipal Court	96	20,062.84
197	Lonestar Municipal Court	37	7,829.01
198	Longview Municipal Court	762	84,169.40
199	Lubbock County Judicial Compliance	Not Reported	Not Reported
200	Lufkin Municipal Court	Not Reported	Not Reported
201	Luling Municipal Court, City of	82	19,291.03
202	Malakoff, City of	Not Reported	Not Reported
203	Mansfield Municipal Court	135	64,673.34
204	Manvel Municipal Court	25	11,031.25
205	Marble Falls Municipal Court	100	17,982.10
206	Martindale Municipal Court	80	20,894.97
207	Matagorda County Justice of Peace Pct. 1, Pl. 1	15	7,916.40
208	Maud Municipal Court	Not Reported	Not Reported
209	McAllen Municipal Court	Not Reported	Not Reported
210	McKinney Police Department	376	77,965.20
211	McLennan County Justice of the Peace, Pct. 4	25	5,850.01
212	Melissa Municipal Court, City of	31	12,608.70
213	Meridian Municipal Court and Police Department	Not Reported	Not Reported
214	Mesquite Municipal Court	1148	216,283.03
215	Midland Municipal Court	1096	151,499.87
216	Mineral Wells Municipal Court	222	59,478.50
217	Mineral Wells Municipal Court	Not Reported	Not Reported
218	Missouri City Municipal Court	132	37,965.00
219	Montague County Justice of the Peace, Pct. 1	Not Reported	Not Reported
220	Montague County Justice of the Peace, Pct. 2	Not Reported	Not Reported
221	Montgomery County Collections Department	576	105,955.14
222	Nacogdoches County Justice of the Peace, Pct. 1	132	33,665.50
223	Nacogdoches Municipal Court	Not Reported	Not Reported
224	North Richland Hills Municipal Court	421	77,355.99

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
225	Nueces County Justice of the Peace, Pct. 1, Pl. 1	Not Reported	Not Reported
226	Oak Ridge North Municipal Court	183	27,110.80
227	Odessa Municipal Court, City of	Not Reported	Not Reported
228	Pampa Municipal Court, City of		14,912.20
229	Pantego Municipal Court	312	17,815.20
230	Parmer County Justice of the Peace, Pct. 1	Not Reported	Not Reported
231	Pearland Municipal Court, City of	935	298,470.94
232	Pecos City Municipal Court, Town of	15	33,004.79
233	Pflugerville Municipal Court	440	94,357.20
234	Piney Point Village Municipal Court, City of	Not Reported	Not Reported
235	Plano Municipal Court	1061	301,374.61
236	Port Isabel Municipal Court	Not Reported	Not Reported
237	Port Lavaca Municipal Court	54	13,317.90
238	Portland Municipal Court	Not Reported	Not Reported
239	Poth Municipal Court	Not Reported	Not Reported
240	Presidio County Justice of the Peace, Pct. 2	Not Reported	Not Reported
241	Princeton Police Department, City of		19,092.00
242	Prosper Municipal Court, Town of	55	9,228.80
243	Quitman Municipal Court, City of	21	4,853.50
244	Red Oak Municipal Court	263	46,822.22
245	Richardson Municipal Court	531	94,023.00
246	Richland Hills Municipal Court	174	25,744.29
247	Roanoke Municipal Court, City of		39,713.15
248	Robstown Municipal Court	Not Reported	Not Reported
249	Roman Forest Police Department	Not Reported	Not Reported
250	Ropesville Municipal Court	4	1,397.00
251	Rosenberg Municipal Court	103	31,123.17
252	Round Rock Municipal Court	313	104,100.01
253	Rowlett Municipal Court, City of	Not Reported	Not Reported
254	Royse City Municipal Court	86	44,420.75
255	Rusk County Justice of the Peace, Pct. 1	29	18,618.06
256	Rusk County Justice of the Peace, Pct. 5	Not Reported	Not Reported
257	Sachse Municipal Court, City of	48	8,774.00
258	San Antonio Municipal Court	22124	3,741,844.75
259	San Benito Municipal Court	Not Reported	Not Reported
260	San Marcos Municipal Court	436	104,795.84
261	Sansom Park Municipal Court, City of	120	18,204.45
262	Schertz, City of	Not Reported	Not Reported

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
263	Scurry County Justice of the Peace, Pct. 2	Not Reported	Not Reported
264	Seabrook Municipal Court	125	26,605.50
265	Seagoville Municipal Court	75	21,545.80
266	Sealy Municipal Court	154	40,685.49
267	Seminole Municipal Court	30	8,054.71
268	Shoreacres Police Department	Not Reported	Not Reported
269	Silsbee Municipal Court, City of	90	9,282.50
270	Slaton Municipal Court, City of	95	17,477.58
271	Smith County Court	380	132,475.74
272	Smith County Judicial Compliance Department	Not Reported	Not Reported
273	Snyder Municipal Court	38	9,146.00
274	Somerville Municipal Court	25	4,758.80
275	South Padre Island Municipal Court	Not Reported	Not Reported
276	Southlake Municipal Court, City of	154	32,355.80
277	Southside Place Municipal Court, City of	Not Reported	Not Reported
278	Spring Valley Village Municipal Court	357	114,275.25
279	Stafford Municipal Court	Not Reported	Not Reported
280	Stagecoach Municipal Court	14	3,421.50
281	Stamford Municipal Court	Not Reported	Not Reported
282	Stonewall County Justice of the Peace	11	5,458.50
283	Sudan Municipal Court	14	4,630.40
284	Sugar Land Municipal Court	567	100,225.17
285	Taft Municipal Court	140	7,689.50
286	Taylor County Court	21	9,717.50
287	Taylor County Justice of the Peace, Pct.1, Pl. 1	43	13,328.00
288	Taylor County Justice of the Peace, Pct.1, Pl. 2	39	9,413.30
289	Taylor County Justice of the Peace, Pct.3, Pl. 1	21	9,717.50
290	Taylor Lake Village Municipal Court	Not Reported	Not Reported
291	Terry County Justice of the Peace	Not Reported	Not Reported
292	Texas City Municipal Court	1063	207,227.70
293	Tomball Police Department	464	141,833.00
294	Travis County Constable Pct. 2	776	265,572.50
295	Travis County Constable Pct. 3	1025	217,279.50
296	Travis County Constable Pct. 4	337	98,686.54
297	Travis County Constable Pct. 5	217	62,976.30
298	Travis County Constable Pct. 1	Not Reported	Not Reported
299	Travis County Justice of the Peace Pct. 1	Not Reported	Not Reported
300	Trophy Club Municipal Court, Town of	46	7,479.52

## 2015 STATE WIDE WARRANT ROUND UP

	A	B	C
301	Tye Municipal Court	20	6,447.51
302	Tyler Municipal Court	1726	325,282.00
303	Universal City Municipal Court	396	172,786.07
304	Uvalde Municipal Court	49	120,833.28
305	Van Alstyne Police Department	54	8,340.70
306	Van Municipal Court	24	1,423.00
307	Victoria Municipal Court, City of	548	154,411.73
308	Waco Municipal Court, City of	1240	203,619.64
309	Waller County Justice of the Peace, Pct. 2		12,769.10
310	Waller County Justice of the Peace, Pct. 4	59	12,530.00
311	Waller Municipal Court, City of	35	23,184.20
312	Ward County Justice of the Peace	Not Reported	Not Reported
313	Washington County Justice of the Peace, Pct. 1	48	14,431.75
314	Washington County Justice of the Peace, Pct. 3	Not Reported	Not Reported
315	Watauga Municipal Court	233	66,467.37
316	Waxahachie, City of	213	19,750.90
317	Webster Municipal Court, City of	199	51,962.60
318	West Lake Hills Municipal Court, City of	167	37,020.55
319	Westlake Municipal Court, Town of	252	69,510.00
320	White Oak Municipal Court	37	13,864.60
321	White Settlement Municipal Court	Not Reported	Not Reported
322	Wichita Falls Municipal Court, City of	800	183,858.50
323	Will Point Municipal Court	42	8,791.70
324	Williamson County Constable Pct. 1	Not Reported	Not Reported
325	Williamson County Justice of the Peace, Pct. 1	43	20,113.66
326	Wilson County Justice of the Peace, Pct. 1	36	10,484.60
327	Windcrest Municipal Court	323	60,768.73
328	Woodville Municipal Court	36	7,690.32
329	Wylie Municipal Court, City of	81	14,885.75
330	Yoakum County Justice of the Peace, Pct. 2	Not Reported	Not Reported
331	Zavalla Municipal Court, City of	21	1,878.00
332			
333			
334	<b>TOTAL: 239 Entities Reported</b>	<b>144,134</b>	<b>\$28,240,703.55</b>
335	( of 323 Total Entities is 74% reporting)	<b># Warrants Cleared</b>	<b>Total Gross Collections (Costs, Fees,</b>
336			<b>Fines, Bonds)</b>
337			



# AGENDA BACKGROUND

**AGENDA ITEM:** Approval of Bills Payable and Purchase Orders over \$1,000.

**DATE:** May 11, 2015

---

**PRESENTER:** Matthew Fielder, City Manager

**BACKGROUND:**

This agenda item includes a listing of bills payable over \$1,000. Included are copies of invoices for professional services and purchase orders over \$1,000, their attached memo, and invoice copies, if available.

**FISCAL IMPACT:**

Please review report for individual account number.

**RECOMMENDATION:**

Staff recommends the following motion:

Approval of the listing of bills payable over \$1,000 and purchase orders as submitted.

**ATTACHMENTS:**

Expenditure Summary of approval list over \$1,000 and purchase orders for May 11, 2015:

Professional Services:

- Sara Jane del Carmen
- Craig Magnuson
- Jim Jeffrey

Purchase Order:

- 1731 – Tyler Technologies, Inc.
- 1734 – Casco Industries
- 1735 – G.C.S.

**Summary of Bills Payable over \$1,000.00 and Purchase Orders Requiring Council Approval  
5/11/2018**

<u>PROFESSIONAL SERVICES</u>	<u>AMOUNT</u>	<u>DESCRIPTION</u>
Sara Jane del Carmen	\$1,300.00	April 2015 Magstration Services
C.A. Magnuson	\$1,300.00	April 2015 Prosecution Services
Jim Jeffrey	\$1,229.65	April 2015 Attorney Services
<u>PURCHASE ORDERS</u>	<u>AMOUNT</u>	<u>DESCRIPTION</u>
1731 - Tyler Technologies, Inc.	\$4,400.00	Accounts Receivable Module
1734 - Casco Industries	\$9,932.00	Fire Hose Replacements
1735 - G.C.S.	\$2,140.00	Cleaning & Inspection of Fire Gear
<u>GENERAL BILLS</u>	<u>AMOUNT</u>	<u>DESCRIPTION</u>
Duncan - Garbage	\$8,343.61	April 2015 Trash Removal
Duncan - Recycling	\$2,083.20	April 2015 Recycling Removal
Intermedix	\$2,971.54	April Ambulance Collection
Voyager Fleet Systems	\$4,045.21	April 2015 Oil & Gas Expense
Gexa Energy	\$14,938.48	Electricity Billing Thru 5/08/15
City of Fort Worth	\$17,004.85	March 2015 Wastewater Services
Wells Fargo	\$1,561.16	April 2015 Copier Lease Payment
TML Risk Pool	\$4,750.00	Accident Deductible (Public Works)

**MAGISTRATION SERVICE FOR THE MONTH OF APRIL 2015**

ACCOUNT # 100-5-160-210.00

INVOICE FOR SERVICES

SERVICES PERFORMED: ARRAIGNMENTS/WARRANTS/MAGISTRATION  
DUTIES

VENDOR # 11022

Sara Jane del Carmen

BLOOD DRAW WARRANTS  
MAGISTRATIONS

TOTAL - \$1,300.00

BILLING ADDRESS: Sara Jane del Carmen  
3051 Trevino  
Grand Prairie, Texas 75054

**PROSECUTOR SERVICE FOR THE MONTH OF APRIL 2015**

ACCOUNT # 100-5-160-210.00

## INVOICE FOR SERVICES

SERVICES PERFORMED: PROSECUTOR FOR MUNICIPAL COURT

VENDOR # 10123	CRAIG MAGNUSON	\$1,300.00
----------------	----------------	------------

BILLING ADDRESS: CRAIG MAGNUSON  
6000 WESTERN PLACE #200  
FT WORTH, TEXAS 76103

**LAW OFFICES OF JIM JEFFREY**

2214 Park Springs Blvd  
Arlington, Texas 76013  
Phone: (817) 261-4640  
Fax: (817) 275-5826  
Federal Tax I.D. # 75-2947449

Town of Pantego  
1614 S. Bowen Road  
Pantego, TX 76013

4/30/2015  
Account No. – 09.01.06  
Invoice # 21919

Legal services

April 1 – April 30, 2015

Attorney Total Hours:	7.0
Hourly Rate:	\$175.00
Paralegal Total Hours	\$ ---
Hourly Rate	\$90.00
Total for Services:	\$1,225.00
Expenses:	\$ 4.65
TOTAL BALANCE DUE:	\$ 1,229.65
Nolan County land issue	\$ 0

**G/A MEMO**

---

To: Matt Fielder, City Manager

From: Julie Arrington, City Secretary

Date: April 29, 2015

Re: Tyler Technologies – Accounts Receivable

The Town Council approved the proposed expenses of \$7,000 for a new Tyler Technologies module for Accounts Receivable within the 2014-15 Budget. The invoiced cost of \$4,400.00 is for a year subscription beginning May 1, 2015 through April 30, 2016. There will be an additional charge for training the necessary employees to this module. The remaining balance will be due upon completion of training. Tyler Technologies has developed this module for Pantego and will need to do the initial training. All subsequent training can be accomplished through the recently purchased Tyler U module.



**Remittance:**  
 Tyler Technologies, Inc.  
 (FEIN 75-2303920)  
 P.O. Box 203556  
 Dallas, TX 75320-3556

# Invoice

<b>Invoice No</b>	<b>Date</b>	<b>Page</b>
025-122653	04/22/2015	1 of 1

**Empowering people who serve the public®**

**Questions:**

Tyler Technologies - Local Government  
 Phone: 1-800-772-2260 Press 2, then 2  
 Fax: 1-866-673-3274  
 Email: ar@tylertech.com



Bill To: Pantego, Town of  
 Attn: Accounts Payable  
 1614 S. Bowen Road  
 Pantego, TX 76013

Ship To: Pantego, Town of  
 Attn: Accounts Payable  
 1614 S. Bowen Road  
 Pantego, TX 76013

<b>Customer No.</b>	<b>Ord No</b>	<b>PO Number</b>	<b>Currency</b>	<b>Terms</b>	<b>Due Date</b>
44177	50739	018228	USD	NET30	05/22/2015

<b>Date</b>	<b>Description</b>	<b>Units</b>	<b>Rate</b>	<b>Extended Price</b>
	Incode Customer Relationship Suite-Accounts Receivable	1	4,400.00	4,400.00

**\*\*ATTENTION\*\***

Order your checks and forms from  
 Tyler Business Forms at 877-749-2090 or  
 tylerbusinessforms.com to guarantee  
 100% compliance with your software.

<b>Subtotal</b>	4,400.00
<b>Sales Tax</b>	0.00
<b>Invoice Total</b>	4,400.00

# TOWN OF PANTEGO

1614 S. BOWEN  
 PANTEGO, TEXAS 76013

No. 1731

74

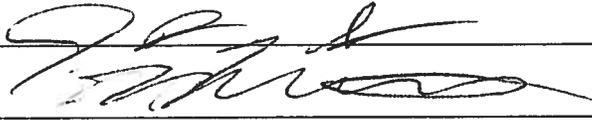
**INSTRUCTIONS TO VENDOR**

1. PURCHASE ORDER NUMBER. Vendor must show purchase order number on all packages, shipping papers, invoices and relative correspondence.
2. INVOICING. Send invoices in duplicate to:  
 TOWN OF PANTEGO  
 PURCHASING DEPARTMENT  
 CITY HALL  
 PANTEGO, TEXAS 76013
3. TAXES. Municipality Tax Exempt  
 Entity I.D. #75-1291097

TO Tyler Technologies, Inc  
 P.O. Box 203556  
 Dallas, TX 75320-3556

SHIP  
 TO Tyler Technologies, Inc.  
 P.O. Box 203556  
 Dallas, TX 75320-3556

DATE		ACCT #	DEPT.		
4-29-15		100-5-101-234,30 482.00	Gen. Adm		
QUANTITY		STOCK NUMBER / DESCRIPTION	PRICE	PER	AMOUNT
ORDERED	RECEIVED				
1	1	Encode Accounts Receivable Program	4,400.00		4,400.00
** Budgeted **					
				TOTAL	4,400.00



APPROVED BY



## PANTEGO FIRE DEPARTMENT

**MEMO #: 000**

**To:** City Manager Matt Fielder  
**From:** Assistant Chief Robert Coker  
**Through:** Chief Thomas Griffith  
**Subject:** Request to expend funds  
**Release Date:** 04-02-2015

I am requesting approval to expend \$ 9,932.00 for the purchase of 13, 100 ft sections of 4" with STORTZ couplings and 13, 50ft sections of 2.5" hose.

If approved this hose will replace the out of date failing hose in the current inventory purchased in 1999. The fire department adopted a policy to replace firefighting hose in specific time intervals. The policy allows for the smaller diameter hose that is used more often to be evaluated and possibility replaced at 10 years. The large diameter hose to be evaluated and possibility replaced at 15 years. All of the hose was tested and evaluated for need for replacement. The last two years we have noted a decline in the condition due to age in this hose.

This is an approved budget item in the 2014-2015 budget.

Cc: A. Carmona



# TOWN OF PANTEGO

1614 S. BOWEN  
PANTEGO, TEXAS 76013

No. 1734

77

**INSTRUCTIONS TO VENDOR**

1. PURCHASE ORDER NUMBER. Vendor must show purchase order number on all packages, shipping papers, invoices and relative correspondence.
2. INVOICING. Send invoices in duplicate to:  
TOWN OF PANTEGO  
PURCHASING DEPARTMENT  
CITY HALL  
PANTEGO, TEXAS 76013
3. TAXES. Municipality Tax Exempt  
Entity I.D. #75-1291097

TO Casco Industries Inc

SHIP TO Pantego Fire.

DATE		ACCT #	DEPT.			
4-28-15			Fire			
QUANTITY		STOCK NUMBER / DESCRIPTION	PRICE	PER	AMOUNT	
ORDERED	RECEIVED					
13		NAFH PF600 Poly Flow 600 Blue with 4" Stortz couplings.	595.00		7,735.00	
13		NAFH DB25X60 yellow	169.00		2,197.00	
Budgeted.						
Robert Coker <i>[Signature]</i>					TOTAL	9,932.00

APPROVED BY



Pantego Fire Department

**To:** City Manager, Matt Fielder  
**From:** Assistant Fire Chief, Robert Coker  
**Through:** Public Safety Chief, Tom Griffith  
**Subject:** Purchase Order.

**Release Date:** 04-28 -2015

I am requesting approval to expend \$2,140.00 for the advanced cleaning and inspection of the protective firefighting gear. This year we will need to inspect eight sets head to toe including coat, helmet, pants, boots, gloves and hood. I also need to have three coats, five pants, one helmet. The total cost is estimated at \$2,140.00 this price includes any life safety repairs that may need to done.

Cc: R. A. Carmona

# TOWN OF PANTEGO

1614 S. BOWEN  
PANTEGO, TEXAS 76013

No. 1735

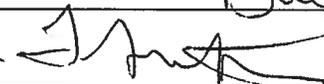
79

**INSTRUCTIONS TO VENDOR**

1. PURCHASE ORDER NUMBER. Vendor must show purchase order number on all packages, shipping papers, invoices and relative correspondence.
2. INVOICING. Send invoices in duplicate to:  
TOWN OF PANTEGO  
PURCHASING DEPARTMENT  
CITY HALL  
PANTEGO, TEXAS 76013
3. TAXES. Municipality Tax Exempt  
Entity I.D. #75-1291097

TO GCS,  
2221 Marawa Drive Ste 190  
Dallas, Texas 75220

SHIP TO Pantego Fire.

DATE		ACCT #	DEPT.			
4-28-15		100-5-150-237.10	Fire Dept.			
QUANTITY		STOCK NUMBER / DESCRIPTION	PRICE		PER	AMOUNT
ORDERED	RECEIVED					
8		Full sets				
5		Pants				
3		Sackets				
1		Helmet				
6		Pairs Boots				
<i>Budgeted</i>						
Robert Coker 					TOTAL	2,140.00

APPROVED BY



# AGENDA BACKGROUND

**AGENDA ITEM:** Approval of the Town Council minutes and acceptance of Minutes of the various Boards and Commissions.

**Date:** May 11, 2015

---

**PRESENTER:**

Julie Arrington, City Secretary

**BACKGROUND:**

Minutes from Town Council and Pantego's various Boards and Commissions.

**FISCAL IMPACT:**

None.

**RECOMMENDATION:**

Staff recommends the approval of the minutes as presented.

**ATTACHMENTS:**

Town Council minutes from April 27, 2015

Planning & Zoning minutes from March 2, 2015

Community Relations Board minutes from March 17, 2015

Community Relations Board minutes from April 7, 2015

Town Council Minutes  
April 27, 2015

STATE OF TEXAS §

COUNTY OF TARRANT §

TOWN OF PANTEGO §

The Town Council of the Town of Pantego, Texas, met in regular session at 6:30 p.m. in the Council Chamber of Town Hall, 1614 South Bowen Road, Pantego, on the 27<sup>th</sup> day of April 2015 with the following members present:

Melody Paradise	Mayor
Russ Brewster	Mayor Pro-Tem
Fred Adair	Council Member
Jane Barrett	Council Member
Don Funderlic	Council Member
Don Surratt	Council Member

Members absent:

None.

Constituting a quorum. The following staff members were present:

Matt Fielder	City Manager
Julie Arrington	City Secretary
Ariel Carmona	Finance Director
Jim Jeffrey	Town Attorney
Chad Joyce	Community Development Director
Scott Williams	Public Works Director
Tom Griffith	Chief of Public Safety
Barry Reeves	Assistant Police Chief
Robert Coker	Assistant Fire Chief

Also in attendance:

None.

WORK SESSION 6:30 P.M.

Mayor Paradise called the work session to order at 6:35 p.m.

Mayor, Council, and Staff discussed the following consent agenda items:

**1. City Manager Report**

Mr. Fielder informed Council two more employees tendered their resignations in dispatch; Marschelle Molina and Iccari Mooney. Council inquired on their reasons. Assistant Police Chief Reeves stated Ms. Molina has taken her old position back with her previous employer and Ms. Mooney is relocating to Stephenville, TX. He informed Council there is a candidate for the open patrol position, he is currently in the hiring process.

Mr. Fielder informed Council the pre-construction meeting with SYB Construction, Inc. is set for this Wednesday. Once he has received the confirmed construction schedule he will meet with the businesses and schools to keep them updated.

**2. Approval of Bills Payable and Purchase Orders in excess of \$1,000.**

Town Council Minutes  
April 27, 2015

Council inquired on the cost of the crossovers in the Alan Plummer Invoice and if the fire hydrant associated with purchase order number 1728 was broke prior to the repairs. Mr. Fielder explained the crossover information was changed; some were eliminated and one was added at the intersection of Bowen and Park Row. Mr. Williams explained the valve to the hydrant broke during the repairs.

**3. Approval and Acceptance of Minutes**

Approval of Town Council Minutes:

- Town Council minutes from April 13, 2015
- Town Council minutes from April 20, 2015

There were changes made to the April 13<sup>th</sup> minutes to include the title of Russell Brewster, replacing "unauthorized" with "occurred while performing work" to agenda item number 2, changing gas leak to fluid flow back in Councilmember Surratt's comments, and in agenda item 8 the words "staff confirmed" replaced "Council confirmed".

No comments for April 20, 2015 minutes.

Acceptance of Minutes of Boards and Commissions:

- PEDC Minutes from April 22, 2015

No comments.

**4. Discuss, direct, and consider action on Resolution 15-12 a resolution of the Town Council of the Town of Pantego, Texas, authorizing the City Manager to enter into an agreement with Collier Consulting for a well monitoring program; providing for an effective date.**

Council inquired on the customized data base as outlined in task 2 of the contract, if the cost of the data base was included in the contract, and information on Collier representing the Town with the North Texas Groundwater Conservation District. Mr. Fielder stated he understood the data base would be supplied to the Town, the cost was included, and they have created a consortium with other municipalities to meet with the Groundwater Conservation District.

**5. Discuss, direct and consider action on Resolution 15-13 a resolution of the Town Council of the Town of Pantego, Texas, authorizing the City Manager to enter into an Engagement Agreement for the Benefits Request for Proposal Bid to Coble Cravens Financial Services, Inc. to obtain comparable quotes for group health, dental, life, disability, and supplemental insurance plans related to the current employee benefits plan offered and provided to town employees; providing for an effective date.**

Mr. Fielder introduced this item informing Council it was sent out for proposals and only two were received; Coble Cravens Financial Services, Inc. and True North. Don Dukes is a resident of Pantego who works for Coble Cravens Financial Services, Inc. (Coble Cravens) located in Fort Worth. They will bring proposals to the Town. If Council chooses to approve one of their proposals the insurance company chosen will pay a commission to Coble Cravens. If Council decides to stay with TML or chooses a different insurance carrier, then Coble Cravens is not paid. Council confirmed with staff the employees will still have plan options to choose from.

**6. Discuss, direct, and consider action on Resolution 15-14 a resolution of the Town Council of the Town of Pantego, Texas, adopting an Investment Policy; providing for an effective date.**

Council inquired on the reason for adopting the Investment Policy if there were not any changes. Mr. Fielder informed Council this was not taken to the Finance Committee due to no changes to the policy. Typically when changes are made they are through the Public Fund Investment Act through the Texas Legislature. Since the Legislature did not meet this year, there were not any changes but

Town Council Minutes  
April 27, 2015

the Town is still required to adopt the Investment Policy annually. Mayor Paradise requested and Council approved moving this item to the Consent Agenda.

**7. Discuss, direct, and consider action on a Special Meeting to canvass the May 9, 2015 General Election.**

Mayor Paradise confirmed with the City Secretary the proposed date is May 18, 2015.

**8. Discuss, direct, and consider action on cancelling the regularly scheduled Council meeting on May 25, 2015 in observance of the Memorial Day holiday.**

No comments.

**9. Discuss, direct, and consider action on proposed financing for a new ambulance.**

Mr. Fielder reminded Council last year financing was brought to them first and they made payment for the item from the reserves. He has chosen to ask for direction first prior to finding financing options. The total cost of the ambulance was \$113,825. During the budget process the item was budgeted for financing over a five year period. An additional \$89,458 is needed to pay for the ambulance. There was discussion on the amount of money in reserves above the recommended 120 days by the Finance Department, the consequences of a debt accumulation in the Capital Leases, and the current interest rate. There was discussion on the source of the \$497,916 remaining unspent in the reserves of the General Fund only. Mr. Fielder informed Council some of this is an unexpected increase in sales tax revenue that was received and savings in payroll from a number of open positions.

Mayor Paradise recessed the regular session for the Executive Session at 7:07 p.m.  
Mayor Paradise reconvened the regular session at 7:32 p.m.

**SCHEDULED EXECUTIVE SESSION ITEMS**

- The Council will convene in the City Manager's Office pursuant to the Texas Government Code for an executive session on the following items:
  1. Pursuant to Government Code Section 551.074 to deliberate the appointment, evaluation, reassignment, duties, discipline or dismissal of a public officer or employee – Discussion of Board and Commissions appointments.

Following the Scheduled Executive Session, the Council will reconvene in public session and may take any and all action necessary concerning the Executive Session agenda item.

Mayor Paradise adjourned the work session at 7:32 p.m.

**REGULAR SESSION 7:30 P. M.**  
**CALL TO ORDER/WELCOME**

Mayor Paradise called the regular session to order at 7:32 p.m.

Councilmember Surratt led the invocation which was immediately followed by the Pledge of Allegiance.

**MAYOR/COUNCIL/STAFF COMMENTS OF COMMUNITY INTERESTS**

Councilmember Surratt welcomed the audience and informed Council behind Sarah Drive off of Roosevelt is a large piece of property and over the weekend they had a very loud party with a PA system and loud music. The Pantego residents were informed by dispatch this location was in the Dalworthington Gardens jurisdiction and the Police Department for Dalworthington Gardens was aware of the party. He was disappointed and surprised they do not have a noise ordinance.

Town Council Minutes  
April 27, 2015

Councilmember Funderlic had nothing to add tonight.

Councilmember Barrett welcomed everyone in the audience.

Councilmember Adair welcomed everyone.

Mayor Pro-Tem Brewster thanked the audience for being here tonight and Council and staff for working together. If we don't then things don't get done. He also heard the music this weekend. It was the Pantego Christian Academy After Prom party.

Mayor Paradise asked Council, staff, and members of the audience to keep Shelby Mayo and the Mayo Family in their prayers. She has been in the hospital off and on for a while and was in the hospital this weekend. She asked everyone to follow Sarah Mayo on Facebook to keep up with Shelby and how she is doing.

### **COUNCIL LIAISON TO BOARD REPORT**

#### **Community Relations Board**

Councilmember Barrett informed Council there has not been a meeting since the last Council meeting. She reminded everyone the next event is May 25<sup>th</sup> Memorial Day and the next meeting is Tuesday, May 5<sup>th</sup> at 7:00 p.m.

#### **Pantego Youth Leadership Council**

Mayor Paradise informed the Council PYLC met last Tuesday. It was an excellent meeting with representatives from H.O.S.A. who gave a presentation and they participated and engaged in the constructive controversy discussion. The last meeting of the school year will be in May. She invited staff and Council to the Awards dinner at Coker's BBQ on May 19<sup>th</sup>.

### **PEDC REPORT**

Mr. Fielder informed Council representatives from the Star Telegram attended the meeting to discuss options for print and online advertising. The Board requested a proposal for the cost of the advertising.

### **CITIZENS OPEN FORUM**

None.

### **APPROVAL OF CONSENT AGENDA ITEMS**

Mayor Pro-Tem Brewster made a motion to approve consent agenda items 1, 2, 3 with corrections made during the work session, and item number 6 Resolution 15-14 as written. Councilmember Funderlic seconded the motion.

The vote was as follows:

Ayes: Surratt, Funderlic, Barrett, Adair, and Brewster.

Nays: None.

Abstentions: None.

Mayor Paradise declared the vote passed unanimously.

### **RESOLUTION**

4. **Discuss, direct, and consider action on Resolution 15-12 a resolution of the Town Council of the Town of Pantego, Texas, authorizing the City Manager to enter into an agreement with Collier Consulting for a well monitoring program; providing for an effective date.**

Town Council Minutes  
April 27, 2015

Discussion from the work session continued. Mr. Williams reminded Council at a previous council meeting a request was made for a proposal from Collier for a well monitoring program. He informed them staff supports this resolution and a program is needed.

Council inquired on the wide variation in the fees, what determines the cost, and stated they are concerned with the lack of transparency in knowing what level of staff the town will get. Aaron Collier with Collier Consulting stated the staff member level determines the costs; such as Engineer level 1 or level 2. He explained more details would be provided in the invoicing, this is just for informational purposes. There was discussion on the additional fees and tasks; such as tasks 6-9. Mr. Collier assured them the additional tasks are flat rate fees and the town will not be charged for mileage. Council confirmed with staff and Mr. Collier the tasks 6-10 would be accompanied by an additional resolution and council approval. There was discussion on the Exhibit A attachment of the Resolution and it encompassing the Fee Schedule that was determined to be for informational purposes only. The Fee Schedule will be removed from the resolution. Section 2 of the Resolution was changed to "The Town of Pantego agrees to compensate Collier Consulting for services outlined in Exhibit A for a total annual cost of \$10,800 as outlined in tasks 1-5 of Exhibit A".

There was discussion on the benefits of Collier Consulting representing the Town at the Northern Trinity Groundwater Conservation District (NTGCD) meetings. Mr. Collier stated the intent of them attending the NTGCD meetings is to keep the stakeholders up to date on the information of the meetings and the affects the NTGCD discussions and decisions may have on the Town. They currently attend the GMA8 meetings regularly for other clients.

There was discussion on the water quality samples outlined in task 8 and the video of the wells as outlined in task 7. Council requested Mr. Collier to supply Mr. Williams with a list of testing that is outlined in Task 8 for his review and determine the need. Council confirmed with Mr. Collier that Collier Consulting will supply the data base outlined in task 2 of the contract. Council agreed task 7 will be approved on an as needed basis.

Councilmember Surratt made a motion to approve Resolution number 15-12 with changes as discussed in section 2 after the cost of \$10,800 including as outlined in tasks 1-5 of Exhibit A. Councilmember Adair seconded the motion.

The vote was as follows:

Ayes: Surratt, Funderlic, Barrett, Adair, and Brewster.

Nays: None.

Abstentions: None.

Mayor Paradise declared the vote passed unanimously.

5. **Discuss, direct and consider action on Resolution 15-13 a resolution of the Town Council of the Town of Pantego, Texas, authorizing the City Manager to enter into an Engagement Agreement for the Benefits Request for Proposal Bid to Coble Cravens Financial Services, Inc. to obtain comparable quotes for group health, dental, life, disability, and supplemental insurance plans related to the current employee benefits plan offered and provided to town employees; providing for an effective date.**

This item was discussed during the work session and no further discussion was had.

Mayor Pro-Tem Brewster made a motion to approve Resolution 15-13 for the Employment Benefits Request for Proposal. Councilmember Barrett seconded the motion.

The vote was as follows:

Ayes: Surratt, Funderlic, Barrett, Adair, and Brewster.

Nays: None.

Abstentions: None.

Town Council Minutes  
April 27, 2015

Mayor Paradise declared the vote passed unanimously.

**6. Discuss, direct, and consider action on Resolution 15-14 a resolution of the Town Council of the Town of Pantego, Texas, adopting an Investment Policy; providing for an effective date.**

This item was discussed during the work session and moved to the Consent Agenda.

**NEW BUSINESS FOR DISCUSSION, REVIEW, APPROVAL, AND/OR DIRECT STAFF.**

**7. Discuss, direct, and consider action on a Special Meeting to canvass the May 9, 2015 General Election.**

This item was discussed during the work session and no further comments were given.

Councilmember Adair made a motion to schedule a special meeting for Monday, May 18<sup>th</sup> to canvass the election. Councilmember Surratt seconded the motion.

The vote was as follows:

Ayes: Surratt, Funderlic, Barrett, Adair, and Brewster.

Nays: None.

Abstentions: None.

Mayor Paradise declared the vote passed unanimously.

**8. Discuss, direct, and consider action on cancelling the regularly schedules Council meeting on May 25, 2015 in observance of the Memorial Day holiday.**

There was clarification with the City Secretary this item was different then agenda item number 7.

Councilmember Surratt made a motion to cancel the May 25<sup>th</sup> Council meeting and hold a special meeting on Monday, May 18<sup>th</sup>. Councilmember Barrett seconded the motion.

The vote was as follows:

Ayes: Surratt, Funderlic, Barrett, Adair, and Brewster.

Nays: None.

Abstentions: None.

Mayor Paradise declared the vote passed unanimously.

**9. Discuss, direct, and consider action on proposed financing for a new ambulance.**

This item was discussed during the work session and no further comments were given.

Mayor Pro-Tem Brewster made a motion to direct financing to pay the balance on the new ambulance out of the unspent funds from 2014-2015 in the amount of \$89,458. Councilmember Barrett seconded the motion.

The vote was as follows:

Ayes: Surratt, Funderlic, Barrett, Adair, and Brewster.

Nays: None.

Abstentions: None.

Mayor Paradise declared the vote passed unanimously.

**SCHEDULED EXECUTIVE SESSION ITEMS**

Town Council Minutes  
April 27, 2015

- The Council will convene in the City Manager's Office pursuant to the Texas Government Code for an executive session on the following items:
  1. Pursuant to Government Code Section 551.074 to deliberate the appointment, evaluation, reassignment, duties, discipline or dismissal of a public officer or employee – Discussion of Board and Commissions appointments.

Following the Scheduled Executive Session, the Council will reconvene in public session and may take any and all action necessary concerning the Executive Session agenda item.

Mayor Paradise announced the executive session was held during the work session and no action was taken.

### **COUNCIL INQUIRY**

Councilmember Surratt informed staff the light pole in the Liquor Depot parking lot fell over during the weekend and inquired on any inspection requirements after the Certificate of Occupancy. Mr. Joyce informed Council the only inspection requirement is the installation of the pole and the property owner is the liable party for the upkeep of the poles.

Councilmember Surratt inquired on the responses to the Fix-It Forms on the website. Staff informed Council the requestor is notified upon receipt of the form as long as contact information is provided from the requestor. The system does not give an automatic reply it must be generated by the Department Head.

Mayor Paradise informed Council Robert Johnson with RJ Construction is working with Robert Riviera in Arlington to protect the residents regarding fly by night roofing companies. She inquired if the Town has anything to help protect the residents from this.

Councilmember Funderlic inquired on any complaints of sewer smells on Park Row, and the sewer capacity of the existing 6" sewer pipe on Park Row, and stated he is concerned with the impending construction on Park Row to upgrade the water line inquiring if the sewer line should be repaired at the same time.

Councilmember Barrett requested a map with the proper names of the different shopping centers around Town.

### **ADJOURNMENT**

Mayor Paradise adjourned the regular session at 8:34 p.m.

APPROVED:

---

Melody Paradise, Mayor

ATTEST:

---

Julie Arrington, City Secretary

STATE OF TEXAS           §  
COUNTY OF TARRANT    §  
TOWN OF PANTEGO        §

The Planning and Zoning Commission of the Town of Pantego, Texas, met in regular session at 7:00 p.m. in the Training Room, 1614 South Bowen Road, Pantego, Texas on the 2nd day of March 2015 with the following members present:

<b>Stephen Smith</b>	<b>Chairman</b>
<b>John Kushma</b>	<b>Vice Chairman</b>
<b>John Richards</b>	
<b>Jason Bergin</b>	
<b>Clifton Cassell</b>	

constituting a quorum. Staff present was:

<b>Chad Joyce</b>	<b>Community Development Director</b>
<b>Chelsea Nelson</b>	<b>P&amp;Z Secretary</b>

(The following items were considered in accordance with the official agenda posted on the 27th day of February 2015.)

**REGULAR SESSION 7:00 P.M.**

**CALL TO ORDER AND GENERAL COMMENTS**

Chairman Smith called the regular session to order at 7:01 PM.

**PLEDGE OF ALLEGIANCE**

Invocation led by Chelsea Nelson which was followed by the Pledge of Allegiance.

**APPROVAL OF MINUTES**

1. Approval of Planning and Zoning November 3, 2014 Minutes.

Commissioner Richards made a motion to approve the minutes from the November 3, 2014  
Commissioner Bergin seconded the motion. The motion passed unanimously.

**NEW BUSINESS**

2. Review and consider any recommendation on Zoning Case Z-205, a proposed re-plot as requested by Bomac Partners, Ltd. for the property at 2301 West Park Row Drive, Block 1, Lot 4R of the Westbury Square Addition, Pantego, Tarrant County, Texas. The property is generally located on the north side of West Park Row Drive between South Bowen Road and Milby Road.

Chairman Smith opened the floor to anyone present who wished to speak.

No one was present to speak either for or against Zoning Case Z-205 so Chairman Smith closed the floor for public discussion. The commission inquired whether there had been previous drainage issues and Mr. Joyce informed the commission that there were no drainage issues on the lot in question. The commission directed all of their questions to employees of Bomac Partners, Ltd.

who were present at the meeting. The commission asked if there were any intentions to re-zone or additional intentions for the rest of the area owned by Bomac Partners, Ltd. Bomac Partners, Ltd. indicated that they are not looking to re-zone and they do not have any concrete plans for the additional land use. Lastly, The commission was concerned about parking options and Mr. Joyce reassured them that all the parking would align with the requirements.

Commissioner John Kushma made a motion to approve Zoning Case Z-205. Commissioner Clifton Cassell seconded the motion. The motion passed unanimously.

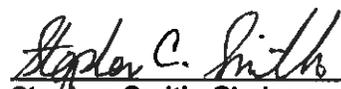
3. Review and consider any recommendation on Zoning Case Z-206, a proposed Special Use Permit to install a Multi-Tenant Pole sign that is larger than allowed by Town Ordinance as requested by Matco Signs for the property at 2304 West Park Row Drive, Tracts 1A3, 1A3A, 1A3B, 1A5, 1A5B AND 1A5C of the William J. Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Lakewood Shopping Center on the south side of West Park Row Drive between South Bowen Road and Milby Road.

The Commission inquired upon the purpose of the need of the Special Use permit. Mr. Joyce informed the commission the Special Use permit was needed due to the sign being larger in square feet than the maximum 200 square foot requirement. The Commission inquired upon whether there is back lighting or a requirement for aesthetics at the bottom of the sign. Mr. Joyce informed them that there has not been discussions of aesthetics, although it could be a question that is asked of Council during their meeting.

Commissioner Richards made a motion to approve Zoning Case Z-206. Commissioner Cassell seconded the motion. The motion passed unanimously.

### ADJOURNMENT

Chairman Smith declared the meeting adjourned at 7:31 p.m.

  
Stephen Smith, Chairman

ATTEST:

  
Chelsea Nelson, Planning & Zoning Secretary



**Community Relations Board Minutes  
March 17, 2015**

**STATE OF TEXAS**

**COUNTY OF TARRANT**

**TOWN OF PANTEGO**

The Community Relations Board of the Town of Pantego, Texas, met in re-scheduled session at 7:00 p.m. in the Fire Training Room, 1614 South Bowen Road, Pantego, on the 17th day of March, 2015 with the following members present:

**Barbara Rogers  
Chuck White  
Tori Roemmich  
Leanna Cartier  
Michael Cartier**

**Chair  
Vice Chair  
Treasurer / Interium Secretary  
Board Members**

The following staff members were present:

**Sheila Sherman  
Scott Williams  
Jane Barrett**

**Staff Liaison  
Public Works Director  
Council Liaison**

**REGULAR SESSION 7:00**

Chair Barbara Rogers called the meeting to order at 7:28 p.m.

**OLD BUSINESS**

Approval of minutes February 3, 2015. Chuck White motions to approve minutes with amendments and Leanne Cartier seconds the motion. The minutes pass as amended.

**CITIZENS OPEN FORUM**

**NEW BUSINESS FOR DISCUSSION, REVIEW, AND APPROVAL**

**1. Temporary Appointment of Board Secretary**

Tori Roemmich to fill in for Annie until she returns.

**2. Easter Event**

The Easter event is scheduled for Saturday, April 4<sup>th</sup> from 2:30-4:30pm. The event will include an egg hunt, crafts, egg toss, sack race, train, Pictures with the Easter Bunny, face painting , and refreshments.

Lotar is taking the eggs to The Waterford Community to have them filled for the event.

Barbara will be picking up the candy for the event and will be doing the egg toss and sack race. She also emailed the local schools for volunteers. Tori is getting the flowers for the event. Micheal volunteered to do the egg hunt. The Lions Club will be bring the popcorn and The CRB will be getting cookies

The board voted to take out the scavenger hunt this year. Sheila will make sure it will be off the City website and newsletter.

Sheila was going to check and see what checks have and have not been made for the event. Sheila is also going to see if we can use gift cards as a prize. Egg toss winners- \$20 gift card and the sack race winners- \$5 gift cards. Board approved these prized if we are allowed to do this.

### 3. Memorial Day Event

Memorial Day is Monday May 25, 2015. Our ceremony will consist of the essay contest. The essay topic is "Why is it important to Celebrate Memorial Day?" We will have a guest speaker that Chuck White has lined up. Matt can get the flags we just need to get the poles for them.

### 4. Movie Night Events

The first movie night of the year will be June 13<sup>th</sup>. The movie we choose from the last meeting will not be available. The Board will have to vote next meeting on a movie.

### 5. Budget Updates

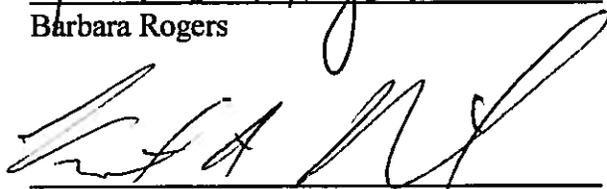
Sheila is going to check and see if we can get the following chargers removed-  
 \$575- non-return of costume  
 \$114- Lunch for the Volunteers for the candy train at the Christmas event.

## CRB MEMBER INQUIRY

## ADJOURNMENT

Chairperson Rogers adjourned the regular session at 8:35 p.m.

  
 \_\_\_\_\_  
 Barbara Rogers

  
 \_\_\_\_\_  
 Tori Roemmich / Interim Secretary



**Community Relations Board Minutes  
April 7, 2015**

**STATE OF TEXAS**

**COUNTY OF TARRANT**

**TOWN OF PANTEGO**

The Community Relations Board of the Town of Pantego, Texas, met in regular session at 7:00 p.m. in the Council Chambers, 1614 South Bowen Road, Pantego, on the 7<sup>th</sup> day of April with the following members present:

**Barbara Rogers  
Tori Roemmich  
Leanna Cartier  
Lotar Heller  
Michael Cartier**

**Chair  
Treasurer / Interim Secretary  
Board Members**

The following staff members were present:

**Sheila Sherman  
Scott Williams  
Jane Barrett**

**Staff Liaison  
Public Works Director  
Council Liaison**

**REGULAR SESSION 7:00**

Chair Barbara Rogers called the meeting to order at 7:00 p.m.

**OLD BUSINESS**

Minutes for March re-scheduled sessions to be approved and passed at next meeting in May.

**CITIZENS OPEN FORUM**

**NEW BUSINESS FOR DISCUSSION, REVIEW, AND APPROVAL**

**1. Easter Review**

We had people complaining that there were not enough eggs and that we cancelled the scavenger hunt. Board members also complained of the eggs falling apart and had a hard time closing them. We talked about possibly using wrist bands next year for the event. Fire Department suggested to advise people of the extra parking in shopping center behind the park. Possibly note it next year in the Newsletter and Town website. The Easter bunny did not come with all of his parts so we have a credit on the account for next time.

**2. Memorial Day**

Memorial Day event will be Monday May 25, 2015. It has been confirmed that Chuck does have a guest speaker for the event. Matt will be pick up the flags for all branch of services. Barbara reached out to the Cub Scouts group for a Color Guard and will also be getting carnations for the event. Jane, Gene, and Micheal all volunteered to read the essays that are turned in for the contest.

Sheila is going to check our list for people to put on the recognition list. Personally invite the Waterford Residents. Going to ask the Lakewood Church Minister to come say a few words.

### 3. Movie Night Events

The board picked the following movies-  
 June 13<sup>th</sup>- Alexanders Horrible Bad Day  
 July 11<sup>th</sup>- Maleficent  
 August 8<sup>th</sup>- Big Hero 6  
 September 12<sup>th</sup>- Guardians of the Galaxy  
 Back ups Box Trools and Strange Magic

Sheila will call the company to schedule the movies.

### 4. Budget Updates

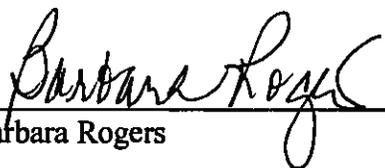
City Board is still keeping the food charge for \$114 for the volunteers of the candy train on the CRB budget.

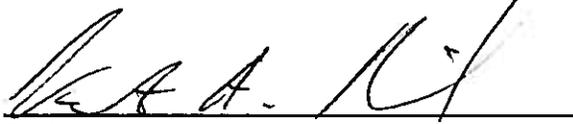
### CRB MEMBER INQUIRY

Lotar Heller announced he was leaving the CRB and the May 5<sup>th</sup> meeting will be his last one. Board is also inquiring about voting out members that no longer attend the meetings.

### ADJOURNMENT

Chairperson Rogers adjourned the regular session at 8:14.m.

  
 \_\_\_\_\_  
 Barbara Rogers

  
 \_\_\_\_\_  
 Tori Roemmich / Interim Secretary





# AGENDA BACKGROUND

**AGENDA ITEM:** Discuss, direct, and consider actions on Resolution 15-15 a resolution of the Town Council of the Town of Pantego, Texas, authorizing the City Manager to enter into a contract with Deltatek Engineering for a water line crossover connection on West Pioneer Parkway; providing for an effective date.

**Date:** May 11, 2015

**PRESENTER:**

Scott Williams, Public Works Director

**BACKGROUND:**

During the April 13, 2015 Council Meeting, the Public Works Director provided a presentation to Council that outlined the potential for a critical failure within the water distribution system. The high degree of concern stems from a critical portion of the distribution system, which was constructed without redundancy (connected at more than one point). Specifically, the 10" waterline on Pioneer Parkway, which supplies 77% of the Town's water from ground storage tanks, at the 303 Well Site.

The presentation concluded with staff proposing the construction of a waterline crossover connection, located on Pioneer Parkway, immediately west of Bowen Rd. The proposed waterline crossover would provide the redundancy, connecting the waterline to a separate portion of the distribution system.

As directed from Council, staff consulted with Deltatek Engineering and subsequently met with Deltatek at the proposed site (Pioneer Pkwy, just west of Bowen) to discuss an 8" waterline crossover connection. Following the site meeting, staff asked Deltatek Engineering to prepare an opinion of probable cost (OPC) and an Engineering Services Contract, for engineering services associated with the design, bid and construction of an 8" waterline crossover connection, at the aforementioned location, hereafter referred to as the Pioneer Parkway Waterline West Crossover Connection project.

**FISCAL IMPACT:**

\$17,550

**RECOMMENDATION:**

Staff recommends the approval of Resolution 15-15, authorizing the City Manager to enter into an Engineering Services Contract with Deltatek Engineering for the above referenced project

**ATTACHMENTS:**

Resolution 15-15  
Deltatek Engineering Services Contract  
Scope of Services and Cost Proposal

Director's Review: SW  
City Manager's Review: MDF

**RESOLUTION NO. 15-15**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS, AUTHORIZING THE CITY MANAGER TO ENTER INTO A CONTRACT WITH DELTATEK ENGINEERING FOR A WATER LINE CROSSOVER CONNECTION ON PIONEER PARKWAY; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS,** the Texas Government Code, Chapter 2254, authorizes the procurement of engineering services; and

**WHEREAS,** the Texas Government Code, §2254.004 provides that a local government may contract with an engineer for procurement of services after first selecting the most highly qualified provider of those services based on demonstrated competence and qualifications and to negotiate a contract at a fair and reasonable price; and

**WHEREAS,** Deltatek Engineering represents that it is qualified and capable of performing the professional services proposed herein for this Project; and

**WHEREAS,** Deltatek Engineering and the Town of Pantego (Town) mutually desire to be subject to the provisions of Texas Government Code, Chapter 2254 and mutually agreed on the terms of the contract.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS THAT:**

**Section 1:** The Town Council hereby authorizes the City Manager to enter into a contract with Deltatek Engineering (Engineer) for a water line crossover connection on Pioneer Parkway. (Exhibit A)

**Section 2:** The Town agrees to compensate Engineer for services as outlined in Exhibit A.

**Section 3:** This resolution is effective immediately upon passage.

**PASSED AND APPROVED this the 11<sup>th</sup> day of May 2015, at a regular meeting of the Town Council of the Town of Pantego, Texas, by a vote of \_\_ ayes, \_\_ nays and \_\_ abstentions.**

\_\_\_\_\_  
**Melody Paradise, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Julie Arrington, City Secretary**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
**Jim Jeffrey, City Attorney**



### 3. **ENGINEER'S SERVICES**

The Engineer agrees to render services necessary for the development of the Project as outlined in the attached Opinion of Probable Cost.

- A. Survey Services shall include field survey to produce a topographic survey of the proposed bore and topo information 150 feet each way from the proposed line showing property lines and visible improvements and utilities.
- B. Design Phase Services shall include field visit to prepare Scope & OPC, review of survey notes, field visit to confirm preliminary design is consistent with site conditions, production of preliminary plans and specifications, plan review with Owner, TXDOT, and production of final bidding documents.
- C. Bidding Phase Services shall include preparation of advertisement, notification of potential bidders, and attendance of Pre-Bid Meeting, if required, answer questions and issue Addenda, if required, review and tabulate bids and make recommendation for award.
- D. Construction Phase Services shall include attendance at Pre-Construction Meeting, Submittal review, site visits as requested by Owner or as appropriate by project status, issue Field Orders and Change Orders as required, attend Final Walk Through, Issue Final Punchlist, and conform as-built plans.

### 4. **PAYMENT FOR SERVICES**

- A. Engineer shall submit itemized monthly statements for Services, Direct Non-Labor Expenses, and for Subcontractors Costs incurred. Town shall make payments in the amount shown by the Engineer's monthly statements and other documentation submitted, and no interest shall ever be due on late payments.
- B. Payments for expenses, costs, and services, during Survey described in Article 3, shall not exceed \$2,300.00.
- C. Payments for expenses, costs, and services, during design phase, described in Article 3, shall not exceed \$9,250.00.
- D. Payments for expenses, costs, and services, during bidding phase, described in Article 3, shall not exceed \$2,250.00.
- E. Payments for expenses, costs, and services, during construction phase, described in Article 3, shall not exceed \$3,750.00.
- F. Total payments for expenses, costs, and services shall not exceed \$17,550.00.

- G. Nothing contained in this article shall require Town to pay for any work which is unsatisfactory as reasonably determined by the Director or which is not submitted in compliance with the terms of this Contract. Town shall not be required to make any payments to the Engineer when the Engineer is in default under this Contract; nor shall this paragraph constitute a waiver of any right, at law or in equity, which Town may have if the Engineer is in default, including the right to bring legal action for damages or for specific performance of this Contract, nor shall it constitute a waiver of any right, at law or in equity, which Engineer may have to bring legal action for payment when Engineer believes it was not under such default and is owed fees under the terms of this agreement.

## **5. OWNERSHIP OF DOCUMENTS**

All information and other data given to, prepared, or assembled by Engineer under this Contract, and other related items shall become the sole property of Town and shall be delivered to City, without restriction on future use. Engineer may make copies of any and all documents and items for its files. A set of electronic reproducible plans shall be filed with the Town prior to final payment. Engineer shall have no liability for changes made to or use of the drawings, specifications, and other documents by anyone subsequent to the completion of the Project.

Town shall require that any such change or other use shall be sealed by the Engineer making that change or use and shall be appropriately marked to reflect what was changed or modified.

## **6. SERVICES BY TOWN**

Town shall provide the following services under this Contract:

- A. Provide available criteria and information to the Engineer as City's requirements for the Project.
- B. Provide sample drawings to use as guidelines.
- C. Provide all available Town of Pantego drawings, maps, and notes relating to existing public facilities within the limits of the Project.
- D. Town will provide primary Construction Quality Assurance Agent.

**7. COMPLETION SCHEDULE**

The services furnished by the Engineer under this Contract will be completed in accordance with the following:

Survey	3 weeks
Design	2 weeks
Advertise	3 weeks
Award	3 weeks
Construction	4 weeks
Total	15 weeks

For the purposes of this Contract, a month is defined as thirty (30) calendar days and a week as seven (7) calendar days. If any of the following submissions fall on a Town non-working day, then the submission shall be due the following Town working day.

**8. NOTICE TO PROCEED**

Town shall have complete control of the services to be rendered and no work shall be done under this Contract until the Engineer is instructed in writing to proceed.

**9. TERMINATION OF CONTRACT**

Town may indefinitely suspend further work hereunder or terminate this Contract or any phase of this Contract upon thirty (30) days prior written notice to the Engineer with the understanding that immediately upon the receipt of such notice all work and labor being performed under this Contract shall cease immediately. Before the end of the thirty (30) day period, Engineer shall invoice the Town for all work accomplished by him prior to the receipt of such notice. No amount shall be due for lost or anticipated profits. All plans, field surveys, and other data related to the Project shall become property of Town upon termination of the Contract and shall be promptly delivered to Town in a reasonably organized form without restriction on future use except as stated in Article 5. Should Town subsequently contract with a new consultant for continuation of services on the Project, Engineer shall cooperate in providing information.

**10. RESPONSIBILITY FOR CLAIMS AND LIABILITIES**

Approval by Town shall not constitute nor be deemed a release of the responsibility and liability of the Engineer, its employees, associates, agents, and consultants for the accuracy and competency of their designs or other work; nor shall approval be deemed to be an assumption of such responsibility by Town for any errors or omissions in the design or other work prepared by the Engineer, its employees, subcontractor, agents and consultants.

**11. EQUAL EMPLOYMENT OPPORTUNITY**

- A. The Engineer shall not discriminate against any employee or applicant for employment because of race, age, color, religion, sex, ancestry, national origin, or place of birth. The Engineer shall take affirmative action to insure that applicants are employed and that employees are treated during their employment without regard to their race, age, color, religion, sex, ancestry, national origin, or place of birth.
- B. If the Engineer fails to comply with the Federal Laws relating to Equal Employment Opportunity, it is agreed that the Town at its option may do either or both of the following:
  - 1) Cancel, terminate, or suspend the contract in whole or in part;
  - 2) Declare the Engineer ineligible for further Town Contracts until he is determined to be in compliance.

## **12. AMENDMENTS**

This Contract may be amended or supplemented in any particular only by written instrument and only as approved by resolution of Town Council or the City Manager, except for termination under Section 9, Termination of Contract, which may be accomplished by the Director of Public Works or his designated representative as identified in Section 9, Termination of Contract.

## **13. COMPLIANCE WITH LAWS, CHARTERS, AND ORDINANCES, ETC.**

The Engineer, his consultants, agents and employees, and subcontractors shall comply with applicable Federal and State Laws, the Charter and Ordinances of the Town of Pantego, and with applicable rules and regulations promulgated by local, state, and national boards, bureaus, and agencies existing and published before date of this agreement.

## **14. RIGHT OF REVIEW**

Engineer agrees that Town may review any and all of the work performed by Engineer under this Contract. Town hereby granted the right to audit at Town's election, all of the Engineer's records and billings related to the performance of this contract. Engineer agrees to retain such records for a minimum of three (3) years following completion of this contract.

**15. CONFLICT OF INTEREST**

No officer or employee shall have any financial interest, direct or indirect, in any contract with the Town or be financially interested, directly, in the sale to the Town of any land, materials, supplies, or services, except on behalf of the Town as an officer or employee. Any violation of this section shall constitute malfeasance in office, and any officer or employee guilty thereof shall thereby forfeit his office or position with the City. Any violation of this section with knowledge, expressed or implied, of the person or corporation contracting with the Town shall render the Contract involved voidable by the Town Manager or the Town Council.

**16. CONTRACT PERSONAL**

This Contract is for personal and professional services; and the Engineer shall not assign this Contract, in whole or in part, without the prior written consent of the City.

**17. NOTICES**

All notices, communications, and reports required or permitted under this Contract shall be personally delivered or mailed to the respective parties by depositing the same in the United States Mail at the address shown below unless and until either party is otherwise notified in writing by the other party at the following addresses. Mailed notices shall be deemed communicated after five days.

**If intended for Pantego, to:**

Matthew Fielder  
**Contact Person**

City Manager  
**Title**

Town of Pantego  
 1614 S. Bowen Road  
 Pantego, Texas 76013  
 (817) 617-3720

**If intended for Engineer, to:**

Bahram Niknam, P.E.  
**Contact Person**

Principal in Charge  
**Title**

Deltatek Engineering  
**Firm Name**

2211 Texas Drive  
**Address**

Irving, Texas 75062  
**City, State, Zip Code**

972-255-9500  
**Telephone No.**

**18. INDEPENDENT CONTRACTOR**

In performing services under this Contract, Engineer is performing services of the type performed prior to this contract; and Engineer by the execution of this contract does not change the independent status of the Engineer. No term, or provision hereof, or act of Engineer in the performance of this Contract shall be construed as making Engineer the agent, servant, or employee of Pantego.

**19. INDEMNITY**

Engineer agrees to defend, indemnify, and hold Town whole and harmless against claims for damages, costs, and expenses of persons or property that may arise out of, or be occasioned by, or from any negligent act, error or omission of Engineer, or any agent, servant, or employee of Engineer in the execution or performance of this Contract, without regard to whether such persons are under the direction of Town agents or employees.

This provision shall not be deemed to apply to liability for damage that is caused by or results from the negligence of the Town of Pantego or its employees or other agents.

**20. INSURANCE**

Engineer agrees to maintain workmen's compensation insurance to cover all of its own personnel engaged in performing services for client under this agreement. Engineer also agrees to maintain professional liability insurance and commercial general liability coverage in the amounts listed below:

Professional Liability Insurance	- \$1 Million per claim/aggregate
Commercial General Liability Insurance	- \$1 Million per claim/aggregate
Automobile Liability Insurance	
Commercial Auto Liability Policy	\$250,000 Combined Single Limit

**21. VENUE**

The obligations of the parties to this Contract are performable in Tarrant County, Texas; and if legal action is necessary to enforce it, exclusive venue shall lie in Tarrant County, Texas.

**22. APPLICABLE LAWS**

This Contract is made subject to the provisions of the Pantego Code, other Town Ordinances, Standards, Pantego Specifications for materials and construction, as amended, and all State and Federal Laws.

**23. GOVERNING LAWS**

This contract shall be governed by and construed in accordance with the laws and decisions of the State of Texas.

**24. LEGAL CONSTRUCTION**

In case any one or more of the provisions contained in this Contract shall for any reason be held to be invalid, illegal, or unenforceable in any respect, such invalidity, illegality, or unenforceability shall not affect any other provisions thereof; and this Contract shall be considered as if such invalid, illegal or unenforceable provision had never been contained in this Contract.

**25. PUBLISHED MATERIAL**

Engineer agrees that the Town shall review and approve any written material about Town projects and/or activities prior to being published by the Engineer.

**26. CAPTIONS**

The captions to the various clauses of this Contract are for informational purposes only and shall not alter any substance of the terms and conditions of this Contract.

**27. SUCCESSORS AND ASSIGNS**

This Contract shall be binding upon and insure to the benefit of the parties hereto and their respective heirs, executors, administrators, successors and, except as otherwise provided in this Contract, their assigns.

**28. ENTIRE AGREEMENT**

This Contract (page 1 thru 9, Scope of Services and Opinion of Probable Cost embodies the complete agreement of the parties hereto, superseding all oral or written previous and contemporary agreements between the parties and relating to matters in this Contract, and except as otherwise provided herein, cannot be modified without written agreement of the parties to be attached to and made a part of this Contract.

IN WITNESS WHEREOF, the parties hereby have executed this agreement in triplicate originals on this date, the \_\_\_\_ day of \_\_\_\_, 2015.

Deltatek Engineering

TOWN OF PANTEGO

**Firm Name**

**Signature**



**City Manager**

Principal in Charge

**Title**

**Director of Public Works**

2211 Texas Drive

**Address**

**APPROVED AS TO FORM**

Irving, Texas 75062

**City, State, Zip Code**

**City Attorney**



April 29, 2015

Mr. Scott Williams  
 Town of Pantego  
 Director of Public Works  
 1614 S. Bowen Road  
 Pantego, TX 76013

Reference: Scope of Services and Cost Proposal  
 Pioneer Parkway Waterline West Crossover Connection  
 Town of Pantego, Texas

Dear Mr. Williams:

In response to your request, and our site visit April 23, 2015, Deltatek Engineering has prepared the following scope of services and costs associated with this task.

### **Scope of Services**

#### Design Phase Services

Prepare plans and specifications for installation of approximately 130 linear feet of new 8" C 900 water pipe by "Other than Open Cut" method. Water line work to include installation of two (2) "tees", six (6) 8" gate valves, removal and disposal of 6" AC pipe, and restoration of areas impacted by the "bore pits", and disinfection and testing of the new piping. Work shall be in accordance with TXDOT requirements.

#### Construction Phase Services

Deltatek Engineering will perform construction phase services consisting of attendance at pre-bid and pre-construction conferences and compile and distribute the meeting minutes. Additionally, Deltatek will process contract submittals, and perform periodic site visits as requested and appropriate with the stage of construction. City staff will provide primary QA observation during the construction.

### **Construction Schedule**

Survey	3 weeks
Design:	2 weeks
Advertise:	3 weeks
Award:	3 weeks
Construction:	4 weeks
Total:	15 weeks

2211 Texas Drive, Irving, Texas 75062  
 Firm Registration No. F-4419  
 972-255-9500 Fax 972-255-7500  
 Email: [bn@deltatekeng.com](mailto:bn@deltatekeng.com)

### Opinion of Probable Cost

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
<b>MISCELLANEOUS</b>					
1	Mobilization/Bonds	1	LS	\$8,750.00	\$8,750.00
2	SWPPP	1	LS	\$1,250.00	\$1,250.00
3	Traffic Control/TXDOT Permits	1	LS	\$4,500.00	\$4,500.00
<b>Sub Total Miscellaneous</b>					
<b>WATER LINE</b>					
4	Furnish and Install 8" C900 DR18 Water Line BOTO	130	LF	\$350.00	\$45,500.00
5	Paving Repair Curb & Gutter	1	LS	\$1,750.00	\$1,750.00
6	8" X 6" Water Main Connection	2	EA	\$1,500.00	\$3,000.00
7	Furnish and Install 8" Gate Valve	6	EA	\$1,560.00	\$9,360.00
8	Remove & Disposal of AC Pipe	8	LF	\$75.00	\$300.00
9	Furnish and Install Ductile Iron Fittings	0.5	TON	\$7,100.00	\$3,550.00
10	Construction Contingency	1	LS	\$5,000.00	\$5,000.00
<b>Sub Total Water Line</b>					<b>\$82,960.00</b>

### Project Cost Summary

Design Phase:	\$ 9,2500.00
Survey:	\$ 2,300.00
Bid Phase:	\$ 2,250.00
<u>Construction Phase</u>	<u>\$ 3,750.00</u>
Engineering & Survey Services Subtotal	\$ 17,550.00
<u>Construction:</u>	<u>\$ 82,960.00</u>
Total Budget	\$ 100,510.00

Should you have any questions, please call me at 972-255-9500 or 214-232-5040.

Sincerely,  
DELTATEK ENGINEERING

Bahram Niknam, P.E.



# AGENDA BACKGROUND

**AGENDA ITEM:** Discuss, direct, and consider action on Resolution 15-16 a resolution of the Town Council of the Town of Pantego, Texas, authorizing the City Manager to proceed with the Lane water well repairs in an amount not to exceed \$12,282.00; providing for an effective date.

**Date:** May 11, 2015

**PRESENTER:**

Scott Williams, Public Works Director

**BACKGROUND:**

As a proactive initiative, to prevent reoccurring motor failures at Lane Well #2, staff consulted with Alan Plummer Associates, Inc (APAI) to provide a report that would investigate the cause of the motor failures and the actions necessary to prevent similar occurrences. As a result of the report, the following items were outlined in the report from APAI, through Patrick Mosely, PE, CEM.

- Install an electrical grounding as indicated in Specification Section 16030 and the attached schematic (Figure 1).
- Install a Sine Wave Filter from MTE Corporation per the indicated Specification Section 16030 and the attached (Figure 2).

Subject to the recommendations from APAI, staff prepared and sent the Specifications and Design of Work, to three qualified electrical contracting firms, requesting a quotation for the work. Additionally, staff met on site with each of the three firms, in order for them to prepare an accurate proposal. After obtaining and reviewing the three quotes, staff recommends R & R Electric, Inc. for the work and requests authorization to perform the work in an amount not to exceed \$12,282.

**FISCAL IMPACT:**

\$12,282

**RECOMMENDATION:**

Authorizing R & R Electric, Inc to perform the work at Lane Well #2 at an amount not to exceed \$12,282.

**ATTACHMENTS:**

Resolution 15-16  
 R & R Electric Proposal  
 Description of Work  
 Figure (1) & (2)  
 Electrical Specifications

Director's Review: SW  
 City Manager's Review: MDF

**RESOLUTION NO. 15-16**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS, AUTHORIZING THE CITY MANAGER TO PROCEED WITH THE LANE WATER WELL REPAIRS IN AN AMOUNT NOT TO EXCEED \$12,282.00; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS,** the Town Council of the Town of Pantego has performed a thorough investigation with Alan Plummer Associates, Inc. regarding the damage to the Lane water well; and

**WHEREAS,** three quotes were obtained by the Public Works Director following the Design of Work outlined by Alan Plummer Associates, Inc.; and

**WHEREAS,** the Town Council of the Town of Pantego believes it to be in the best interest of the town to hire R & R Electrical, Inc. to conduct the repairs to the Lane water well in accordance to Alan Plummer Associate, Inc. Description of Work; and

**WHEREAS,** R & R Electrical, Inc. has agreed to repair the Lane water well in accordance to the Design of Work and Electrical Requirements as set forth by Alan Plummer Associates.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS THAT:**

**Section 1:** The Town Council hereby authorizes the City Manager to proceed with the Lane water well repairs. (Exhibit A)

**Section 2:** The Town agrees to compensate R & R Electrical, Inc. for services as outlined in Exhibit A in an amount not to exceed \$12,282.00.

**Section 3:** This resolution is effective immediately upon passage.

**PASSED AND APPROVED this the 11<sup>th</sup> day of May 2015, at a regular meeting of the Town Council of the Town of Pantego, Texas, by a vote of \_\_ ayes, \_\_ nays and \_\_ abstentions.**

\_\_\_\_\_  
**Melody Paradise, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Julie Arrington, City Secretary**

**APPROVED AS TO FORM:**

\_\_\_\_\_  
**Jim Jeffrey, City Attorney**

# Proposal

**R & R ELECTRIC, INC.**  
505 SAN CARLOS ST.  
GRAND PRAIRIE, TEXAS 75051  
(214) 236-6693

PROPOSAL SUBMITTED TO <b>City of Pantego</b>		PHONE	DATE <b>5-1-15</b>
STREET		JOB NAME <b>water well #1</b>	
CITY, STATE and ZIP CODE		JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

**Install Sine Wave filter and ground well components per engineer report**

**All labor & material : \$ 12282.00**

**We Propose** hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

\_\_\_\_\_ dollars (\$ \_\_\_\_\_).

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized  
Signature \_\_\_\_\_

Note: This proposal may be  
withdrawn by us if not accepted within \_\_\_\_\_ days.

**Acceptance of Proposal** — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature \_\_\_\_\_

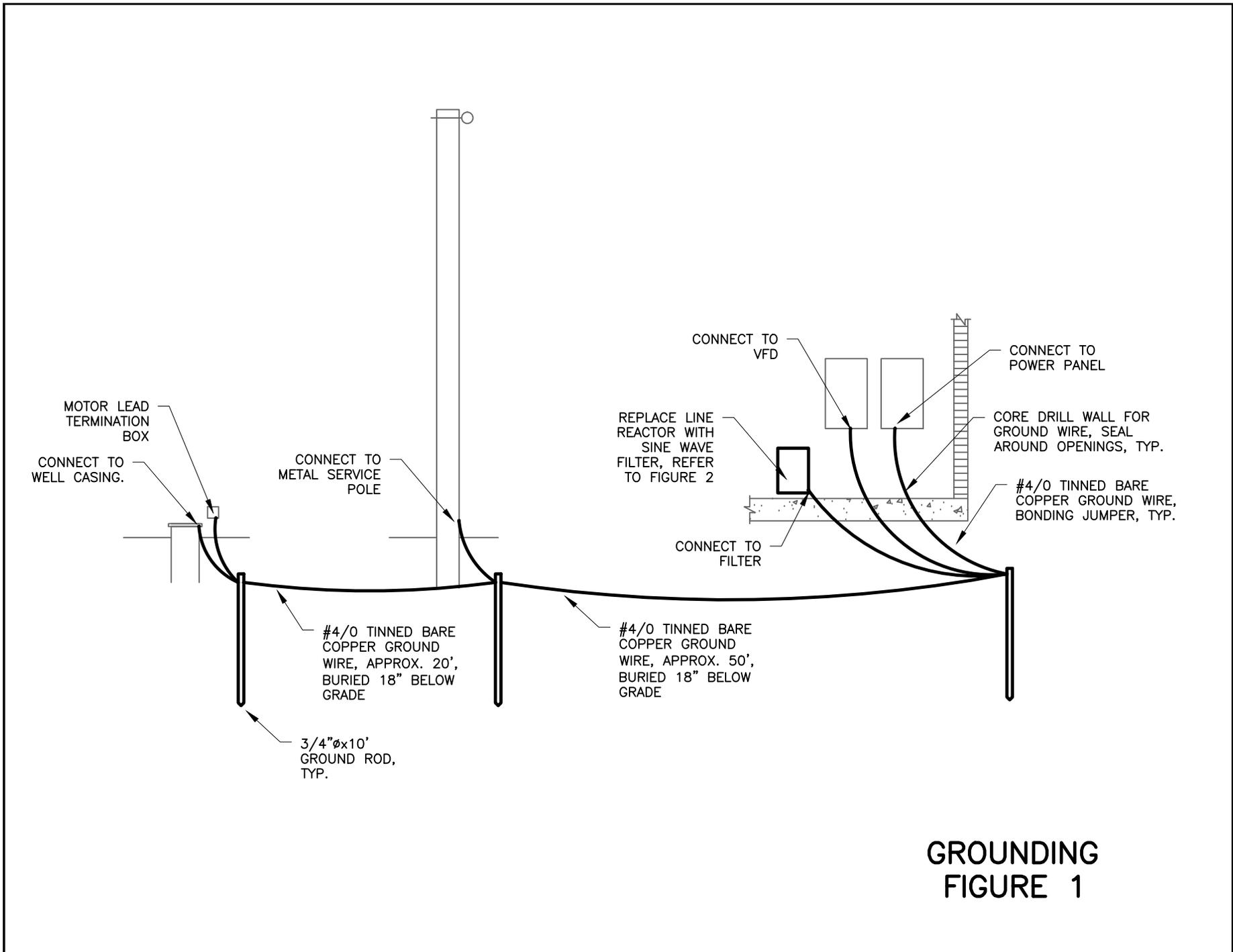
Date of Acceptance: \_\_\_\_\_

Signature \_\_\_\_\_

See Below for the brief description of the task required for the grounding and sine wave filter, to go along with the figures and specification I sent earlier.

1. Contractor shall furnish and install a grounding system as shown in Figure 1 and per the requirements of Specification Section 16030 - Common Electrical Requirements.
2. Contractor shall replace existing filter with a Sine Wave Filter from MTE Corporation SineWave Guardian Filter, NEMA 3R, 200 Amps, Model Number SWGW0200D, or approved equal per as shown in Figure 2 and per the requirements of Specification Section 16030 - Common Electrical Requirements.

**Patrick Moseley, PE, CEM**  
Alan Plummer Associates, Inc.

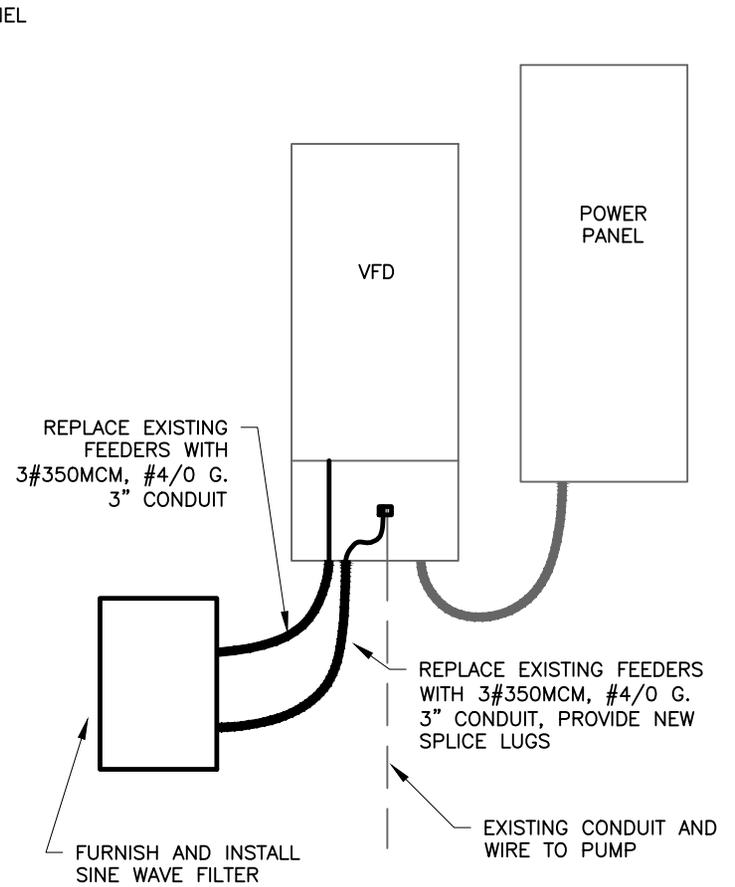


**GROUNDING  
FIGURE 1**



REPLACE WITH SINE WAVE FILTER

VFD



SINE WAVE FILTER INSTALLATION  
FIGURE 2

**SECTION 16030**  
**ELECTRICAL REQUIREMENTS**

**PART 1 - GENERAL**

**1.1 SUMMARY**

- A. This Section includes the following:
1. Raceway and Boxes.
  2. Conductors and Cables.
  3. Grounding and Bonding.

**1.2 DEFINITIONS AND REFERENCES**

- A. Definitions:
1. EMI: Electromagnetic interference.
  2. GFCI: Ground-fault circuit interrupter.
  3. LFMC: Liquid-tight flexible metal conduit.
  4. LFNC: Liquid-tight flexible nonmetallic conduit.
  5. Pigtail: Short lead used to connect a device to a branch-circuit conductor.
  6. RFI: Radio-frequency interference.
  7. RNC: Rigid nonmetallic conduit.
  8. TVSS: Transient voltage surge suppressor.
- B. References: Perform work, furnish and install materials and equipment in full accordance with the latest issue of the applicable rules, regulations, requirements, and specifications of the following:
1. Local laws and ordinances.
  2. State and Federal Laws.
  3. National Electrical Code (NEC).
  4. State Fire Marshal.
  5. Underwriters' Laboratories (UL).
  6. National Electrical Safety Code (NESC).
  7. American National Standards Institute (ANSI).
  8. National Electrical Manufacturer's Association (NEMA).
  9. National Electrical Contractor's Association (NECA) Standard of Installation.
  10. Institute of Electrical and Electronics Engineers (IEEE).
  11. Insulated Cable Engineers Association (ICEA).
  12. Occupational Safety and Health Act (OSHA).
  13. National Electrical Testing Association (NETA).
  14. American Society for Testing and Materials (ASTM).
- C. Wherever the requirements of the Specifications or Drawings exceed those of the above items, the requirements of the Specifications or Drawings govern. Code compliance is mandatory.

**1.3 REGULATIONS AND PERMITS**

- A. Regulations: Work, materials and equipment must comply with the latest rules and regulations of the following:
1. National Electrical Code (NEC).
  2. National Electrical Safety Code (NESC).
  3. Occupational Safety and Health Act (OSHA).
  4. State and federal codes, ordinances and regulations.
  5. Local Electrical Code.
- B. Discrepancies:
1. The Plans and Specifications are intended to comply with listed codes, ordinances, regulations and standards.
  2. Where discrepancies occur, immediately notify the ENGINEER in writing and ask for an interpretation.

3. Should installed materials or workmanship fail to comply, the CONTRACTOR is responsible for correcting the improper installation.
4. Additionally, where sizes, capacities, or other such features are required in excess of minimum code or standards requirement, provide those specified or shown.

#### 1.4 SUBMITTALS

1. Product Data: Provide construction details, material descriptions, dimensions of individual components and profiles, rated capacities, operating characteristics, electrical characteristics, and furnished specialties and accessories.
2. Shop Drawings: For the following raceway components. Include plans, elevations, sections, details, and attachments to other work.

#### 1.5 QUALITY ASSURANCE

- A. Contractor Qualifications: An acceptable CONTRACTOR for the work under this Section must have personnel with experience, training, and skill to provide a practical working system. The CONTRACTOR shall have previous water and wastewater experience with at least five years in business.
  1. The CONTRACTOR shall be required to furnish acceptable evidence of having installed not less than three systems of size and type comparable to this project.
  2. The systems must have served satisfactorily for not less than three years.
  3. The superintendent must have had experience in installing not less than three systems.
- B. Requirements for Workmanship, Equipment and Materials:
  1. All electrical work shall be performed by workers skilled in the electrical trade and licensed for the work by the local authority.
  2. A licensed Master Electrician will be required for constructing, installing, altering, maintaining, repairing or replacing any electrical wiring, apparatus, or equipment on any voltage level. A licensed Master Electrician or a licensed Journeyman Electrician is required to be on the job site during the performance of any electrical work.
  3. All cable splicing methods and materials shall be of the type recommended by the splicing materials manufacturer for the cable to be spliced, and shall be approved by the ENGINEER prior to installation.
  4. All materials and equipment shall be installed in accordance with the approved recommendations of the manufacturer and the best practices of the trade, and in conformance with the Contract Documents. The CONTRACTOR shall promptly notify the OWNER in writing of any conflict between any requirements of the Contract Documents and manufacturer's directions, and shall obtain written instructions from the OWNER before proceeding with the work. Should the CONTRACTOR perform any work that does not comply with the manufacturer's directions or such written instructions from the OWNER, he shall bear all costs incurred in correcting deficiencies.
  5. All equipment and materials shall be new, unless specifically noted otherwise, and shall bear the manufacturer's name, trademark and ASME, UL, and/or other labels in every case where a standard has been established for the particular item. Equipment shall be the latest approved design of a standard product of a manufacturer regularly engaged in the production of the required type of equipment, and shall be supported by a service organization that is, in the opinion of the OWNER, reasonably convenient to the site.
  6. It is the responsibility of the CONTRACTOR to insure that items furnished fit the space available with adequate room for proper operation and maintenance. He shall make measurements to ascertain space requirements, including those for connections, and shall furnish and install such sizes and shapes of equipment that, in the final inspection, will suit the true intent and meaning of the Plans, Specifications and Contract Documents.
  7. The CONTRACTOR shall furnish and install all equipment, accessories, connections and incidental items necessary to complete the work, ready for use and operation by the OWNER.
  8. When the ENGINEER has reviewed equipment submittals and given instructions to proceed with the installation of items of equipment that require arrangements or

connections different from those shown on the drawings, it shall be the responsibility of the CONTRACTOR to install the equipment to operate properly and in accordance with the intent of the Plans and Specifications, and he shall provide any additional equipment and materials that may be required. The CONTRACTOR shall be responsible for the proper location of roughing-in and connections by other trades. All changes shall be made at no increase in the Contract Amount or additional costs to other trades.

9. The CONTRACTOR shall support the installation of all equipment, plumb, rigid and true to line. The CONTRACTOR shall determine how equipment, fixtures, conduit, etc., are to be installed, and shall provide foundations, bolts, inserts, stands, hangers, brackets and accessories for proper support whether or not shown on the drawings.

C. Source Limitations:

1. Obtain each type of wiring device and associated wall plate through one source from a single manufacturer. Insofar as they are available, obtain all wiring devices and associated wall plates from a single manufacturer and one source.
2. Obtain enclosed switches and circuit breakers, overcurrent protective devices, components, and accessories, within same product category, from single source from single manufacturer.
3. Obtain panelboards, overcurrent protective devices, components, and accessories from single source from single manufacturer.
4. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, Article 100, by a testing agency acceptable to authorities having jurisdiction, and marked for intended use.

## 1.6 PROJECT CONDITIONS

- A. Temporary Power: Provide temporary electrical service of adequate capacity and characteristics for all construction until completion of the Project.

## 1.7 WARRANTY

- A. Comply with the one year General Warranty set forth in the General Conditions, except when a longer warranty period is specified for electrical equipment associated with equipment and pumping systems in the individual specification sections.

## 1.8 EXTRA MATERIALS

- A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
  1. Fuses: Equal to 10 percent of quantity installed for each size and type, but no fewer than six of each size and type.

## PART 2 - PRODUCTS

### 2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work, but not limited to, are listed in the following paragraphs.

### 2.2 GENERAL PRODUCT REQUIREMENTS

- A. Condition: Materials and equipment provided under these Specifications shall be new products of manufacturers regularly engaged in production of such equipment. Provide the manufacturer's latest standard design for the type of equipment specified.
- B. NEC and UL: Products must conform to requirements of the National Electrical Code. Where Underwriters' Laboratories have set standards, listed products, and issued labels, products used must be listed and labeled by UL.

- C. Space Limitations: Equipment selected must conform to the building features and must be coordinated with them. Do not provide equipment which will not suit arrangement and space limitations.
- D. Factory Finish: Equipment must be delivered with a hard surface, factory-applied finish so that no additional field painting is required.
- E. Field Installation: All field installed equipment, conduit, etc., shall require Type 316 stainless steel nuts, bolts, washers, and rigid aluminum or Type 316 stainless steel metal framing and supports, and other items as indicated on the Plans.

## 2.3 RACEWAY AND BOXES

- A. Raceway Materials:
  - 1. Aluminum Rigid Conduit: ANSI C80.5.
  - 2. PVC-Coated Aluminum Rigid Conduit: PVC-coated aluminum rigid conduit.
    - a. Comply with NEMA RN 1.
    - b. Coating Thickness: 0.040 inch, minimum.
  - 3. LFMC: Flexible steel conduit with PVC jacket.
  - 4. Fittings for Conduit (Including all Types and Flexible and Liquidtight) and Cable: NEMA FB 1; listed for type and size raceway with which used, and for application and environment in which installed.
    - a. Conduit Fittings for Hazardous (Classified) Locations: Comply with UL 886.
    - b. Coating for Fittings for PVC-Coated Conduit: Minimum thickness, 0.040 inch, with overlapping sleeves protecting threaded joints.
- B. Boxes, Enclosures, and Cabinets:
  - 1. Cast-Metal Outlet and Device Boxes: NEMA FB 1, aluminum, Type FD, with gasket cover.
  - 2. Metal Floor Boxes: Cast metal, fully adjustable, rectangular.
  - 3. Small Sheet Metal Pull and Junction Boxes: NEMA OS 1.
  - 4. Cast-Metal Access, Pull, and Junction Boxes: NEMA FB 1, cast aluminum with gasket cover.
  - 5. Hinged-Cover Enclosures: NEMA 250, Type 4X, with continuous-hinge cover with flush latch, unless otherwise indicated.
    - a. Metal Enclosures: Stainless Steel Type 316.
- C. Wire terminal blocks shall be Square D Type M Barrier Block system, or equal.
  - 1. M4/6G or B 22014 AWG 6MM (.234 inch) wide, Grey, Blue, Single Level, 600 volt, 25 amp.
  - 2. M6-8G or B 22-8AWG 8MM (.315 inch) wide, Grey Blue, Single Level, 600 volt, 55 amp.
  - 3. The wire terminal block system shall be for DIN rail mounting, and shall include fuse/switch blocks, circuit breaker block, and isolation switches.

## 2.4 CONDUCTORS AND CABLES

- A. Single Conductors:
  - 1. Unless otherwise indicated, all conductors shall be copper and shall be stranded. Solid conductors shall be allowed on 120-volt lighting and receptacle circuits.
  - 2. Utilize only conductors meeting applicable requirements of NEMA WC 3, WC 5, WC 7, and ICEA S-19-81, S-61-402, and S-66-524.
  - 3. Provide conductors with type RHH or RHW, except for multi-conductor tray cable and sizes No. 6 and larger, provide conductors with XHHW insulation and lighting and receptacles, provide conductors with THHN or THWN.
  - 4. Unless noted otherwise, conductor sizes indicated are based on copper conductors. Do not provide conductors smaller than those indicated.
  - 5. Where flexible cords and cables are specified, provide Type SO, 600 volt, with the number and size of copper conductors indicated.

## 2.5 GROUNDING AND BONDING

- A. Comply with UL 467 for grounding and bonding materials and equipment.

- B. Conductors:
1. Insulated Conductors: Tinned-copper wire or cable insulated for 600 V unless otherwise required by applicable Code or authorities having jurisdiction.
  2. Bare Copper Conductors:
    - a. Solid Conductors: ASTM B 3.
    - b. Stranded Conductors: ASTM B 8.
    - c. Tinned Conductors: ASTM B 33.
    - d. Bonding Cable: 28 kcmil, 14 strands of No. 17 AWG conductor, 1/4 inch in diameter.
    - e. Bonding Conductor: No. 4 or No. 6 AWG, stranded conductor.
    - f. Bonding Jumper: Copper tape, braided conductors, terminated with copper ferrules; 1-5/8 inches wide and 1/16 inch thick.
    - g. Tinned Bonding Jumper: Tinned-copper tape, braided conductors, terminated with copper ferrules; 1-5/8 inches wide and 1/16 inch thick.
  3. Grounding Bus: Rectangular bars of annealed copper, 1/4 by 2 inches in cross section, unless otherwise indicated; with insulators.
- C. Connectors:
1. Listed and labeled by a nationally recognized testing laboratory acceptable to authorities having jurisdiction for applications in which used, and for specific types, sizes, and combinations of conductors and other items connected.
  2. Bolted Connectors for Conductors and Pipes: Copper or copper alloy, bolted pressure-type, with at least two bolts.
    - a. Pipe Connectors: Clamp type, sized for pipe.
    - b. Welded Connectors: Exothermic-welding kits of types recommended by kit manufacturer for materials being joined and installation conditions.
- D. Ground Rods: Copper-clad steel; 3/4 inch by 10 feet.

## PART 3 - EXECUTION

### 3.1 GENERAL REQUIREMENTS

- A. Protection of Equipment:
1. Moisture:
    - a. During construction, provide heaters to protect switchgear, transformers, motors, control equipment, and other items from moisture absorption and corrosion.
    - b. Apply protection immediately on receiving the products and provide continuous protection.
    - c. Store all equipment indoors in dry, well ventilated and heated space.
    - d. Clean: Keep products clean by elevating above ground or floor and by using suitable coverings.
    - e. Damage: Take such precautions as are necessary to protect apparatus and materials from damage. Failure to protect materials is sufficient cause for rejection of the apparatus or material in question.
    - f. Finish: Protect factory finish from damage during construction operations and until final acceptance of the project.
- B. Installation:
1. Cooperation with Other Trades:
    - a. Cooperation with trades of adjacent, related or affected materials or operations, and of trades performing continuations of this work under subsequent contracts, is considered a part of this work in order to effect timely and accurate placing of work and to bring together, in proper and correct sequence, the work of such trades.
    - b. Coordinated equipment layout in sufficient time to be coordinated with work of others, provide drawings and layout work showing exact size and location of sleeves, openings or inserts for electrical equipment in slabs, walls, partitions and chases.
  2. Workmanship: Work must be performed by workers skilled in their trade. The installation must be complete whether the work is concealed or exposed.

3. Concrete Equipment Pads:
    - a. Install minimal 4-inch-thick concrete foundation pads for indoor floor mounted equipment, except where direct floor mounting is permitted by the ENGINEER.
    - b. Pour pads on roughened floor slabs, sized so that outer edges extend a minimum of 3 inches beyond equipment.
    - c. Trowel pads smooth and chamfer edges to a 1-inch bevel.
    - d. Provide dowels in slab, and rebar between the dowels.
    - e. Pads must drain away from the equipment.
    - f. Secure equipment to pads as recommended by the manufacturer.
  4. Setting of Equipment:
    - a. Equipment must be leveled and set plumb.
    - b. Sheet metal enclosures mounted against a wall must be separated from the wall not less than 1/2-inch by means of corrosion resistant spacers or by 3 inches of air for freestanding units.
    - c. Use corrosion resistant bolts, nuts and washers to anchor the equipment.
  5. Sealing of Equipment:
    - a. Permanently seal outdoor equipment at the base using grout in accordance with Division 3 Section 03600 "Grout, Non-Shrink."
    - b. Seal or screen openings into equipment to prevent entrance of animals, birds and insects.
    - c. Use stainless steel or copper mesh with openings not larger than 1/16-inch squares for screened openings.
    - d. Seal small cracks and openings from the inside with silicone sealing compound.
  6. Concealed Work: Conceal electrical work in walls, floors, chases, under floors, underground and above ceilings except:
    - a. Where shown or specified to be exposed. Exposed is understood to mean open to view.
    - b. Where exposure is necessary to the proper function.
    - c. Where size of materials and equipment precludes concealment.
- C. Project Record Documents:
1. Prepare and maintain Project Record Documents in accordance with Division 1 Section 01781 "Project Record Documents" and the following:
    - a. At the job site, maintain a set of white prints of the contract drawings.
    - b. At the job site, maintain a set of equipment terminal connection diagrams.
    - c. On the prints, record field changes and diagrams of those portions of work in which actual construction is at variance with the contract drawings.
    - d. Mark the drawings with a colored pencil. Record installed feeder conduits, dimensioning.
- D. Cutting and Patching: Lay out work carefully in advance. Do not cut or notch any structural member or building surface without specific approval of ENGINEER. Carefully carry out any cutting, channeling, chasing, or drilling of floors, walls, partitions, ceilings, paving, or other surfaces required for the installation, support, or anchorage of conduit, raceways, or other electrical materials and equipment. Following such work, restore surfaces neatly to original condition.

### 3.2 RACEWAY APPLICATION

- A. Comply with NECA 1 for installation requirements applicable to products specified in Part 2 except where requirements on Drawings or in this Article are stricter.
- B. Outdoors: Apply raceway products as specified below, unless otherwise indicated:
  1. Exposed Conduit: Aluminum rigid conduit.
  2. Concealed Conduit, Aboveground: Aluminum rigid conduit.
  3. Underground Conduit: RNC, Type EPC-40-PVC, concrete encased.
  4. Under concrete slab: RNC, Type EPC-40-PVC, concrete encased.
  5. Concealed in Concrete: RNC, Type EPC-40-PVC.
  6. Chemical areas: PVC-coated aluminum rigid conduit.
  7. Installed in wet-wells: PVC-coated aluminum rigid conduit.
  8. Connection to Vibrating Equipment (Including Transformers and Hydraulic, Pneumatic, Electric Solenoid, or Motor-Driven Equipment): LFMC.

9. Boxes and Enclosures, Aboveground: NEMA 250, Type 4X, stainless steel.
- C. Indoors: Apply raceway products as specified below, unless otherwise indicated:
1. Exposed Conduit: Aluminum rigid conduit.
  2. Concealed in Ceilings and Interior Walls and Partitions: Aluminum rigid conduit..
  3. Connection to Vibrating Equipment (Including Transformers and Hydraulic, Pneumatic, Electric Solenoid, or Motor-Driven Equipment): LFMC.
  4. Damp or Wet Locations: Aluminum rigid conduit.
  5. Chemical areas: PVC-coated aluminum rigid conduit.
  6. Boxes and Enclosures: NEMA 250, Type 1, except use NEMA 250, Type 4X, stainless steel in damp, wet, or chemical locations.
- D. Minimum Raceway Size: 3/4-inch trade size. Minimum size for underground conduit shall be 1-inch trade size.
- E. Raceway Fittings: Compatible with raceways and suitable for use and location.
1. Aluminum Rigid Conduit: Use threaded aluminum rigid conduit fittings, unless otherwise indicated.
  2. PVC Externally Coated, Aluminum Conduits: Use only fittings listed for use with that material. Patch and seal all joints, nicks, and scrapes in PVC coating after installing conduits and fittings. Use sealant recommended by fitting manufacturer.
- F. Installation Requirements:
1. Runs shall be parallel and, in general, perpendicular or parallel to walls, floors, or principal structural elements. Exposed conduits shall be neatly installed and painted the same color as the adjacent surfaces.
  2. To prevent motion in any direction, conduits shall be supported and secured by galvanized wall bracket, ceiling trapeze or pipe clamps approved by the Engineer. Perforated metal straphangers and wire hangers are not acceptable.
  3. All job cut threads shall be cleaned and given a coat of rust-resistant paint, zinc chromate, or equivalent. All threaded joints shall be made watertight with a waterproofing compound. All conduits that have been cut shall have burrs removed by reaming.
  4. Do not install aluminum conduits in contact with concrete.
  5. At conduit connections to enclosures or boxes, install locknuts inside and outside of the enclosure or box on all conduits. Install insulating bushings on all conduits.
  6. Liquid tight flexible metallic conduit shall be installed in such a manner that liquids tend to run off the surface and not drain toward the fittings. Sufficient slack shall be provided to reduce the effects of vibration. Where the fittings are brought into an enclosure with a knockout, a gasket assembly shall be provided on the outside.
  7. Setscrew conduit connectors and running thread couplings shall not be used. Conduit and equipment connected by conduit shall be so installed as to provide proper continuous grounding bonds, using bonding jumpers where required.
  8. Make joints in PVC conduit in compliance with the manufacturer's instructions. Make all bends by means of an electrical heating unit approved by the conduit manufacturer where standard elbows and fittings cannot be used.
  9. Any moisture in conduit shall be removed before installing wire. Conduit ends shall be capped or plugged as soon as possible after installation, and shall remain so until just before the installation of wires. Junction boxes shall be installed in locations approved by the Engineer.
  10. Expansion fittings or other approved devices shall be installed where conduits cross expansion joints. Install pull boxes in all runs over 200 feet in length, or where called for on the Drawings. The maximum distance between pull boxes shall not exceed 200 feet.
  11. In slab construction, the maximum nominal conduit size shall not exceed ¼ the slab dimension. Sleeves shall be provided for all conduits passing through concrete or masonry work.
  12. Location and Sizing of Sleeves passing through floors and walls that are not shown on the Drawings is the responsibility of the Contractor.
  13. Securing and Protecting Conduit: Secure in place and protect where necessary to prevent damage to the work during construction. Plug the ends of all conduit runs. Do not secure conduit directly to other piping.

14. Separation of Conduit from Other Pipes: Separate conduit parallel to or crossing un-insulated hot water or steam pipes from same by 12 inches if parallel, or 6 inches if crossing. Where hot water or steam pipelines are insulated, clear conduit parallel or crossing the insulated surfaces by 2 inches. Do not run conduit directly under cold water lines, and separate from it in other directions by at least three inches.
15. Termination of Empty Conduit: Terminate empty conduits with smooth insulating bushings and/or cap, and leave with a 1/4-inch polypropylene rope pulled in, with ends of conduit securely closed.
16. Sealing of Conduits: Seal all conduits runs that extend from an air-conditioned space to a non-air conditioned space to prevent the circulation of air. Accomplish by stuffing conduit with duct seal where the conduit run terminates inside the building in an outlet box or cabinet.
17. Underground conduits shall be buried to a depth of at least 18 inches below finished grade, except where noted otherwise.
18. Underground conduit, within building limits, shall be at least 6 inches below bottom of slab or structure, unless specifically permitted otherwise elsewhere in these specifications.
19. Installation and Drawings: Follow the layout shown on the Drawings. This layout is, however, diagrammatic only; and where changes are necessary due to structural conditions, interference with other apparatus or other causes, make such changes without additional cost to the Owner. Install offsets in conduits as required by the conditions.
20. Backfill for Buried Conduit: Where trenching and backfilling for conduit under proposed or existing pavement, pavement replacement and backfill compaction as specified.

### 3.3 INSTALLATION OF CONDUCTORS AND CABLES

#### A. General Requirements:

1. Do not exceed cable manufacturer's recommendations for maximum pulling tensions and minimum bending radii. Pulling compound shall be used. Use only UL listed compound compatible with the cable outer jacket and with the raceway involved.
2. Tighten screws and terminal bolts using torque type wrenches, and/or drives, to tighten to the inch-pound requirements of the NEC and UL.
3. Where single conductors and cables in manholes, handholes, vaults, cable trays, and other indicated locations are not wrapped together by some other means such as arc and fireproofing tapes, bundle throughout their exposed length conductors entering from each conduit with nylon, self-locking, releasable, cable ties placed at intervals not exceeding 12 inches on centers.
4. Instrumentation Wiring: Install wiring for instrumentation signal circuits in raceways separate from AC raceways. Where instrumentation signal circuits share space in pull boxes with AC power circuits, a metal divider shall be provided in the pull box to separate the instrumentation signal circuits from the AC power circuits.
5. Wires shall be carried full size from source to load without intermediate splices. Where splices are unavoidable in conductors below ground level or in wet locations, a splicing kit approved by the Engineer shall be used. Where splices occur, wire markers shall be applied at each side of the splice. The wire color-coding shall be maintained from source to load.
6. Control and power wiring in cabinets, panelboards, motor control centers, pull boxes, junction boxes, and cable trenches shall be neatly trained and held with nylon cable ties.
7. Where control or circuit cabling is clamped or fastened in cabinets or other equipment, non-metallic nylon cable clamps, and mounting brackets shall be installed.

#### B. Conductors-600 Volts and Blow:

1. Provide conductor sizes as indicated on the drawings.
2. Wire nuts may be used on solid conductors of 120-volt and 277-volt lighting and 120-volt receptacle circuits only. Use King silicone filled pressure connectors, or approved equal. Use crimp connectors on all stranded conductors. Place no more than one conductor in any single-barrel pressure connection.
3. Soldered mechanical joints insulated with tape will not be acceptable.

4. Vinyl plastic insulating tape for wire and cable splices and terminations shall be flame retardant, 7-mil thick minimum, rated for 90 UL 510.  C minimum m
5. Arrange wiring in cabinets, panels, and motor control centers neatly cut to proper length. Identify circuits entering motor control centers or other control cabinets in accordance with the conductor identification system specified herein.
6. Terminate control and instrumentation wiring with methods consistent with terminals provided, and in accordance with terminal manufacturer's instructions.
7. For terminals designed to accept only bare wire compression terminations, use only stranded wire, and terminate only one wire per terminal. Tighten terminal screws with torque screwdriver to recommended torque values.
8. Attach compression lugs with a tool specifically designed for that purpose which provides a complete, controlled, crimp where the tool will not release until the crimp is complete. Use of pliers type crimpers is not acceptable.
9. Cap spare conductors and conductors not terminated with UL listed end caps.
10. Where conductors pass through holes or over edges in sheet metal, remove all burrs, chamfer edges, and install bushings and protective strips of insulating material to protect the conductors.
11. For conductors that will be connected by others, provide at least 6 feet spare conductor in freestanding panels, and at least 2 feet spare in other assemblies.

C. Cables:

1. Do not splice without permission of the ENGINEER. Locate splices, when permitted, only in readily accessible cabinets or junction boxes using terminal strips.
2. Where connections of cables installed under this section are to be made to instrumentation and controls, leave pigtails of adequate length for neat bundled type connections.
3. Maintaining the integrity of shielding of instrumentation cables is essential to the operation of the control systems. Take special care in cable installation to ensure that grounds do not occur because of damage to the jacket over the shield.

D. Cable Placement:

1. Immediately prior to the placement of each cable or cable group, inspect the raceway to determine that installation is complete and that the interior is clean and free of all materials detrimental to the cable or its placement. Group all cable assigned to a particular conduit and pulled simultaneously, using cable grips and acceptable lubricants.
2. Provide adequately sized raceways to accommodate the number and size of cable as specified, and in compliance with Article 300 of the National Electric Code.
3. Carefully check all cable as to size and length before pulling into conduits. Remove and replace cable pulled into the wrong conduit or cut too short at no additional cost to the Owner.
4. Fishing and pulling shall be performed with flexible round non-metallic tape, carbon dioxide, or forced air propelled polyethylene cord, nylon rope, or manila rope. No metallic cable or materials that may damage or scratch the inside surface shall be pulled into any conduit.
5. Use woven wire cable grips to pull all low voltage single conductor cable, No. 2/0 and larger, and all low voltage multi-conductor cable. Use pulling loops to pull single conductor cable smaller than No. 2/0. When a cable grip is used for pulling, the arc of the cable covered by the grip plus 6-inches shall be cut off and discarded.
6. Insert a reliable non-freezing type of swivel or swivel connection between the pulling ropes and the cable eye, or grip to prevent twisting under strain.
7. Do not exceed the maximum pulling tension recommended by the cable manufacturer.

### 3.4 GROUNDING AND BONDING

A. General Requirements:

1. Install complete grounding system at the service entrance equipment. Ground and bond all service entrance equipment, non-current carrying metal parts of all equipment

bus as required by Article 250 of the National Electric Code and other referenced Articles.

2. Resistance of ground system to earth shall not exceed 5.0 ohms.
  3. An insulated equipment ground conductor shall be provided in each raceway and cable assembly for each circuit. Insulation shall be color coded green. Conductor shall be sized according to the National Electrical Code Table 250-95.
  4. Chain link fencing shall be grounded at any change of direction exceeding 15°, or as called for on the Drawings.
- B. Applications:
1. Conductors: Install solid conductor for No. 8 AWG and smaller, and stranded conductors for No. 6 AWG and larger, unless otherwise indicated.
  2. Underground Grounding Conductors: Install bare tinned-copper conductor, No. 4/0 AWG minimum.
    - a. Bury at least 24 inches below grade.
    - b. Duct-Bank Grounding Conductor: Bury 12 inches above duct bank when indicated as part of duct-bank installation.
  3. Isolated Grounding Conductors: Green-colored insulation with continuous yellow stripe. On feeders with isolated ground, identify grounding conductor where visible to normal inspection, with alternating bands of green and yellow tape, with at least three bands of green and two bands of yellow.
  4. Grounding Bus: Install in electrical and telephone equipment rooms, in rooms housing service equipment, and elsewhere as indicated.
  5. Install bus on insulated spacers 1 inch, minimum, from wall 6 inches above finished floor, unless otherwise indicated.
  6. Where indicated on both sides of doorways, route bus up to top of door frame, across top of doorway, down to specified height above floor, and connect to horizontal bus.
- C. Equipment Grounding: Install insulated equipment grounding conductors with all feeders, branch circuits, and equipment in accordance with NFPA 70.
- D. Metal Poles Supporting Outdoor Lighting Fixtures: Install grounding electrode and a separate insulated equipment grounding conductor in addition to grounding conductor installed with branch-circuit conductors.
- E. Ground Rods: Drive rods until tops are 6-inches below finished floor or final grade, unless otherwise indicated. Interconnect ground rods with grounding electrode conductor below grade and as otherwise indicated. Make connections without exposing steel or damaging coating, if any.

### 3.5 LIGHT FIXTURE AND POLE INSTALLATION

- A. Luminaries Installation: Install lamps in each luminary, fasten luminary to indicated structural supports, and adjust luminaries that require field adjustment or aiming. Include adjustment of photoelectric device to prevent false operation of relay by artificial light sources.
- B. Pole Installation:
1. Align pole foundations and poles for optimum directional alignment of luminaries and their mounting provisions on the pole.
  2. Clearances: Maintain the following minimum horizontal distances of poles from surface and underground features, unless otherwise indicated on Drawings:
    - a. Fire Hydrants and Storm Drainage Piping: 60 inches.
    - b. Water, Gas, Electric, Communication, and Sewer Lines: 10 feet.
    - c. Trees: 15 feet.
  3. Concrete Pole Foundations: Set anchor bolts according to anchor-bolt templates furnished by pole manufacturer. Concrete materials, installation, and finishing requirements are specified in Division 3 Section "Cast-in-Place Concrete."
  4. Foundation-Mounted Poles: Mount pole with leveling nuts, and tighten top nuts to torque level recommended by pole manufacturer.
    - a. Grout void between pole base and foundation. Use nonshrink or expanding concrete grout firmly packed to fill space.
    - b. Install base covers, unless otherwise indicated.

- c. Use a short piece of 1/2-inch- diameter pipe to make a drain hole through grout. Arrange to drain condensation from interior of pole.
- 5. Poles and Pole Foundations Set in Concrete Paved Areas: Install poles with minimum of 6-inch- wide, unpaved gap between the pole or pole foundation and the edge of adjacent concrete slab. Fill unpaved ring with pea gravel to a level 1 inch below top of concrete slab.
- 6. Raise and set poles using web fabric slings (not chain or cable).

### 3.6 IDENTIFICATION

- A. Marking: Identify each panel, terminal cabinet, and all other control devices suitably by means of 1/4-inch high letters cut in a black laminated phenolic strip to show white letters, and neatly fasten on enclosure with stainless steel screws. Adhesive taped backing is not acceptable.
- B. Control circuit conductor identification shall be made by color-coded insulated conductors and printed black type on white heat-shrink wire markers. The same color code shall be maintained for the full length of each circuit.
- C. Conductor identification shall be provided within each enclosure where a tap, splice, or termination is made. Control circuit terminals of equipment shall be properly identified.
- D. Terminal and conductor identification shall match that shown on approved shop drawings. Hand lettering or marking is not acceptable.
- E. Conductor identification by insulation color-coding method is not required for three-phase circuits; however, each ungrounded conductor shall be properly identified by color-coded heat shrink tubing or color-coded self-adhering plastic tape.
- F. Project Records: Note changes in the location of conduits, the connection of circuits, and any other data different from the Drawings on the Project Record Drawings prior to acceptance of work.

### 3.7 MOTOR ROTATION

- A. Before and after final service connections are made, check and correct the rotation of motors. Coordinate rotation checks with the ENGINEER and the CONTRACTOR responsible for the driven equipment. Submit a written report to the ENGINEER for each motor verifying that rotation has been checked and corrected.

### 3.8 CLEANING AND TOUCH-UP PAINTING

- A. Touch up scratches, scrapes, or chips in interior and exterior surfaces of devices and equipment with finishes matching, as nearly as possible, the type, color, consistency, and type of surface of the original finish. If extensive damage is done to equipment paint surfaces, refinish the entire equipment in a manner that provides finish equal to or better than the factory finish, and that meets the requirements of the Specifications and is acceptable to the ENGINEER.

### 3.9 FIELD QUALITY CONTROL

- A. Tests and Inspections; Conductors and Cables:
  - 1. After installing conductors and cables and before electrical circuitry has been energized, test service entrance and feeder conductors, and conductors feeding the following critical equipment and services for compliance with requirements.
  - 2. Perform each visual and mechanical inspection and electrical test stated in NETA Acceptance Testing Specification. Certify compliance with test parameters.
  - 3. Remove and replace malfunctioning units and retest as specified above.
- B. Tests and Inspection; Wiring Devices:
  - 1. Test Equipment:
    - a. Test Instruments: Use instruments that comply with UL 1436.
    - b. Test Instrument for Convenience Receptacles: Digital wiring analyzer with digital readout or illuminated LED indicators of measurement.
  - 2. Tests for Convenience Receptacles:

- a. Line Voltage: Acceptable range is 105 to 132 V.
  - b. Percent Voltage Drop under 15-A Load: A value of 6 percent or higher is not acceptable.
  - c. Ground Impedance: Values of up to 2 ohms are acceptable.
  - d. GFCI Trip: Test for tripping values specified in UL 1436 and UL 943.
  - e. Using the test plug, verify that the device and its outlet box are securely mounted.
3. The tests shall be diagnostic, indicating damaged conductors, high resistance at the circuit breaker, poor connections, inadequate fault current path, defective devices, or similar problems. Correct circuit conditions, remove malfunctioning units and replace with new ones, and retest as specified above.
- C. Testing and Inspection: Grounding and Bonding Systems:
1. Test completed grounding system at each location where a maximum ground-resistance level is specified, at service disconnect enclosure grounding terminal, at ground test wells. Make tests at ground rods before any conductors are connected.
  2. Measure ground resistance not less than two full days after last trace of precipitation and without soil being moistened by any means other than natural drainage or seepage and without chemical treatment or other artificial means of reducing natural ground resistance.
  3. Perform tests by fall-of-potential method according to IEEE 81.
- D. Test Reports: Prepare a written report to record the following:
1. Test procedures used.
  2. Test results that comply with requirements.
  3. Test results that do not comply with requirements and corrective action taken to achieve compliance with requirements.

### **END OF SECTION**



# AGENDA BACKGROUND

**AGENDA ITEM:** Public Hearing, discuss, direct, and consider action on Ordinance 15-757 an ordinance of the Town Council of the Town of Pantego, Texas, for Zoning Case Z-207, a proposed Special Use Permit as requested by Verizon Wireless to co-locate cellular antennae and accessory ground equipment on an existing cellular tower site at 3253 West Pioneer Parkway, West 303 Centre, Pantego, Tarrant County, Texas. The property is generally located in the Northlake Shopping Center on the north side of W. Pioneer Parkway between Showplace Circle and Roosevelt Drive.

**Date:** May 11, 2015

**PRESENTER:**

Chad Joyce, Community Development Director

**BACKGROUND:**

See Community Development Staff Report.

The Notice of Public Hearing was published on April 24, 2015 in the Fort Worth Commercial Recorder, the Town's official newspaper. This Notice was also posted on the Town's bulletin board and the Town's website. Owners of property within two hundred (200) feet of the applicant property were given notice via U.S. Mail.

**FISCAL IMPACT:**

N/A

**RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following conditions:

- Noise reduction options be included on the emergency generator; and
- Expiration upon change of ownership.

**ATTACHMENTS:**

Proposed Ordinance No. 15-757  
 Community Development Staff Report  
 Planning and Zoning Chairman Report  
 Resolution 92-05  
 Application, Zoning Case Z-207  
 Exhibit A – Site Plans  
 Notification Map  
 Notification Address List

Director's Review: CJ  
 City Manager's Review: MDF

**ORDINANCE NO. 15-757**

**AN ORDINANCE OF THE TOWN OF PANTEGO AUTHORIZING THE AMENDMENT OF A SPECIAL USE PERMIT ISSUED TO METROCEL CELLULAR TELEPHONE TO ALLOW VERIZON WIRELESS TO CO-LOCATE ANTENNAE AND ACCESSORY GROUND EQUIPMENT ONTO AN EXISTING OVERSIZED COMMUNICATION ANTENNA TOWER LOCATED AT 3253 W PIONEER PKWY, WEST 303 CENTRE, PANTEGO, TARRANT COUNTY, TEXAS; AND DECLARING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Pantego, Texas is a Type A General Law Municipality located in Tarrant County, Texas, created in accordance with provisions of Chapter 6 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Chapter 14, Section 14.02.513(8) of the Town of Pantego Municipal Code allows for an exception for communications antennae in excess of the size standards of the zoning code; and

**WHEREAS**, the Planning & Zoning Commission as required by Chapter 211 of the Texas Local Government Code has duly published a Notice of Public Hearing in the Fort Worth Commercial Recorder, the official newspaper for the Town of Pantego, on April 24, 2015; and

**WHEREAS**, the Planning and Zoning Commission has received and reviewed the application from Verizon Wireless and has determined that it complies with all requirements for the Special Use Permit; and

**WHEREAS**, the Commissioners recommended approval of this application at their regularly scheduled meeting on May 4, 2015; and

**WHEREAS**, the Town Council by affirmative vote of four of its members may by ordinance authorize special use permits; and

**WHEREAS**, presentation of this ordinance at a meeting preceding the meeting at which the ordinance is enacted places an undue burden in administrative time and expense to the Town, and as reflected by the vote of two-thirds of the Councilmember's present, the requirements of Section 1.03.035(b) are hereby waived.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS THAT:**

**SECTION 1:**

The Town Council authorizes the Special Use Permit amendment, including Exhibit A site plans, for the co-location of antennae and accessory ground equipment on an existing communication antenna tower located at:

West 303 Centre in Pantego, Tarrant County, Texas  
3253 W Pioneer Pkwy, Pantego, Texas

as requested by Verizon Wireless.

**SECTION 2:**

This Special Use Permit shall expire upon change of ownership.

**SECTION 3:  
PROVISIONS CUMULATIVE**

This ordinance shall be cumulative of all provisions of the ordinances of the Town of Pantego, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such Ordinances, in which event the conflicting provisions of such Ordinances are hereby repealed.

**SECTION 4:  
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law, and it is so ordained.

**PASSED AND APPROVED AFTER WAIVER OF THE REQUIREMENTS OF TOWN CODE SECTION 1.03.035(b) THIS THE 11<sup>th</sup> DAY OF MAY 2015 BY A VOTE OF \_\_ AYES, \_\_ NAYS, AND \_\_ ABSTENTIONS, AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS.**

\_\_\_\_\_  
**Melody Paradise, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Julie Arrington, City Secretary**

**APPROVE AS TO FORM:**

\_\_\_\_\_  
**Jim Jeffrey, City Attorney**



## COMMUNITY DEVELOPMENT STAFF REPORT

<b>MEETING DATE:</b>	May 11, 2015
<b>ACTION REQUESTED:</b>	Consider approval for a Special Use Permit to co-locate cellular antennas and accessory ground equipment on an existing cellular tower site.
<b>PROPERTY DESCRIPTION:</b>	3253 West Pioneer Parkway, West 303 Centre, Pantego, Tarrant County, Texas.
<b>PROPERTY OWNER:</b>	F and S Northlake Partners LLC and DRM Partners, LP
<b>APPLICANT:</b>	Verizon Wireless
<b>CURRENT ZONING:</b>	C-4 Commercial District
<b>SURROUNDING ZONING/LAND USE:</b>	North – Bicentennial Park East – Planned Development – Camp Thurman South – C-4 Commercial Zoning District – Northlake Center West – C-4 Commercial Zoning District - Northlake Center
<b>REQUESTED VARIANCES:</b>	Cellular Tower Height
<b>ANALYSIS:</b>	Verizon Wireless is requesting to co-locate cellular antennas and accessory ground equipment on an existing cellular tower site. The original tower was approved for Metrocel Cellular Telephone Company in March 1992. A Special Use Permit is required to co-locate on this site due to not only the additional antennae, but the increased ground equipment. The site plans included in the exhibits will be attached to the final ordinance should this be approved.
<b>ANALYSIS FROM P&amp;Z MEETING:</b>	Kathy Zibilich was in attendance at the P&Z meeting to represent the applicant. She explained the need to fill gaps in coverage in this area for Verizon Wireless. The commissioners had questions about the security fencing and placement of the ground equipment. The fencing will be six foot chain-link with barbed wire above and will be placed in a corner area of the buildings to reduce visibility. There were also questions of any issues that may be caused by additional antennae. None are expected. It is also planned that an emergency generator will be installed with noise reduction options included with the installation.
<b>SPECIAL USE PERMIT CONSIDERATIONS:</b>	The Town of Pantego Zoning Ordinance states the following considerations that the Planning and Zoning Commission and Town Council should consider prior to approval of a special use permit: <ul style="list-style-type: none"> <li>(1) The proposed use complies with all the requirements of the zoning district in which the special use permit is located;</li> </ul>

- (2) The proposed use as located and configured will contribute to or promote the general welfare and convenience of the Town;
- (3) The benefits that the town gains from the proposed use outweigh the loss of or damage to any homes, businesses, natural resources, agricultural lands, historical or cultural landmarks or sites, wildlife habitats, parks, or natural, scenic, or historical features of significance, and outweigh the personal and economic cost of any disruption to the lives, business and property of individuals affected by the proposed use;
- (4) Adequate utilities, road access, drainage and other necessary supporting facilities have been or shall be provided;
- (5) The design, location and arrangement of all public and private streets, driveways, parking spaces, entrances and exits shall provide for a safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
- (6) The issuance of the special use permit does not impede the normal and orderly development and improvement of neighboring vacant property;
- (7) The location, nature and height of buildings, structures, walls and fences are not out of scale with the neighborhood;
- (8) The proposed use will be compatible with and not injurious to the use and enjoyment of neighboring property, nor significantly diminish or impair property values within the vicinity;
- (9) Adequate nuisance prevention measures have been or shall be taken to prevent or control offensive odors, fumes, dust, noise, vibration and visual blight;
- (10) Sufficient on-site lighting is provided for adequate safety of patrons, employees and property and such lighting is adequately shielded or directed so as not to disturb or adversely affect neighboring properties;
- (11) There is sufficient landscaping and screening to ensure harmony and compatibility with adjacent properties;
- (12) The proposed operation is consistent with the applicant's submitted plans, master plans, projections, or where inconsistencies exist, the benefits to the community outweigh the costs;
- (13) The proposed use is in accordance with the Town's comprehensive plan.

**RECOMMENDED  
ACTIONS:**

The Town Council has the following options when considering a Special Use Permit application:

- Approval as submitted;
- Approval with conditions;
- Table to specific date with clarification of intent and purpose; or
- Denial of application.

**STAFF  
RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following conditions:

- Noise reduction options be included on the emergency generator; and
- Expiration upon change of ownership.

**REPORT ON PLANNING AND ZONING COMMISSION MEETING**  
**May 5, 2015**

**1. Zoning Case Z-207 – Verizon Wireless cellular tower**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Kathy Zibilich Verizon came and spoke in favor of this SUP. She indicated that they would be adding equipment on the tower as well as a new generator on the surface. The new generator would only be needed in case of an emergency. It would be enclosed in a 6 foot chain link fence.

Discussion: The commissioner's asked questions concerning safety, noise, and fence height. No commissioner had any concerns about the answers to any questions.

**2. Zoning Case Z-208 – ACE Ice House – SUP Renewal**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Matt Armo spoke in favor of this SUP. He is the owner and operator of the ICE house.

Discussion: The commissioner's did not have any concern about the SUP and it was quickly approved.

**3. Zoning Case Z-209 – Linda Simic establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Linda Simic spoke in favor of this SUP. Mr. Randy Bell and Ms. Barbara Brown also spoke in favor of this SUP. Ms Simic indicated that she would be running an adult lounge type establishment that expected mid 30 to mid 60's customers. There would be more alcohol than food sales. Hours would be 11:00am – 2:00am, 7 days a week. The establishment would have live music, open mic, a ping pong table, and smoking. Nobody came and spoke in opposition to this SUP.

Discussion: The commissioner's asked questions concerning safety, noise, light, proximity to the adjacent dance studio and adjoining Jr. High School. Although no one came to speak against this SUP, concerns about the impact to the adjacent neighborhood were discussed. We approved this SUP as presented, but Commission Kushma did request that we consider a 1 year limit on the SUP. The concern being that the Ms. Simic signed a 5 year lease, so the SUP would be in effect until change in ownership. The time limit was not included in the SUP as approved, but something for council to consider in their discussions of this SUP.

#### **4. Zoning Case Z-210 – Linda Simic SUP to sell alcohol**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and closed with nobody speaking for or against this SUP.

Discussion: The commissioner's did not have any concern about the SUP as the questions and concerns were raised with SUP case Z-209.

#### **5. Zoning Case Z-211 – Nicole Myers – establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Pat Myers came and spoke in favor of this SUP. He indicated that they would be adding additional space to the existing Dr. Jeckyll's Beer lab. They would be serving food, and alcohol in addition to the existing homebrew ingredients that they sell. Mr. Myers expected more food sales than liquor sales. The hours of operation would be early hours, they would close at midnight. Some nights earlier depending on business.

Discussion: The commissioner's asked questions concerning safety, noise, and the location near the existing snow cone establishment. No commissioner had any concerns about the answers to any questions.

Any questions or concerns about this summary, please feel free to contact me at any time.

Stephen Smith  
Chairman

RESOLUTION NO. 92-05

A RESOLUTION GRANTING A SPECIAL  
USE PERMIT - METROCEL CELLULAR  
TELEPHONE COMPANY, 3253 WEST  
PIONEER PARKWAY

WHEREAS, the Zoning Ordinance of the Town provides for the issuance of permits for certain special uses therein described.

WHEREAS, said application has been duly referred to the Town Planning and Zoning Commission for study and report and a Public Hearing has been held thereon;

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS:

Section 1.

That a Special Use Permit be and the same is hereby granted to Metrocel Cellular Telephone Company for a Communications Antennae in excess of size standards at 3253 West Pioneer Parkway.

Section 2.

That the Town Council has determined and finds that the proposed use hereby permitted, if conducted in accordance with the terms and conditions hereof, will not:

- (a) Substantially increase traffic hazard or congestion;
- (b) Substantially increase fire hazards;
- (c) Adversely affect the character of the neighborhood;
- (d) Adversely affect the general welfare of the community;

or

- (e) Overtax public utilities.

APPROVED AND ADOPTED by the Town Council of the Town of Pantego, Texas, at a Regular Town Council meeting on this the 9th day of March, 1992, by a vote of 4 Ayes, 0 Nays and 0 Abstentions.

  
Robert D. (Bob) Surratt  
Mayor

ATTEST:

  
Terry Smith  
Town Secretary



Town of Pantego  
1614 S. Bowen Rd., Pantego, TX 76013  
(817)274-1381 or (817)265-1375 Fax

### APPLICATION FOR A SPECIAL USE PERMIT

#### APPLICANT

If applicant is NOT owner of property, Agent Authorization Form must be completed.

Name: Verizon Wireless Date: 3/24/15

Address: 7 Village Circle #400  
Street Address

Westlake TX 76262  
City

Phone: 817 961 2575 and 214-420-8700 (Kathy Zibilich)  
Email: Kzibilich@griffinharris.com

Applicant Status:  Owner  Tenant  Purchaser  Other

#### PROPERTY DEVELOPMENT INFORMATION

Address: 3201 W. Pioneer Parkway, Pantego TX 76013 (TAD records)

Legal Description: (Tower address is 3253 Pioneer Parkway for 911)

Property is subdivided: Addition: West 303 Centre Vol. 388-193 Page 50  
lot: \_\_\_\_\_ Block: Plat Records Tarrant County

Property is not subdivided: Survey: \_\_\_\_\_  
Abstract#: \_\_\_\_\_ Tract: \_\_\_\_\_

Existing Classification: \_\_\_\_\_

Developer: <u>Same as Applicant</u>	Agent: <u>Griffin Harris PLLC, Kathy Zibilich</u>
Address: _____	Address: <u>8150 N. Central Expressway #1475</u>
City/State/Zip: _____	City/State/Zip: <u>Dallas TX 75206</u>
Phone/Fax: _____	Phone/Fax: <u>214 420 8700</u>
Surveyor: _____	Engineer: <u>Allpro</u>
Address: _____	Address: <u>9221 LBJ Freeway #204</u>
City/State/Zip: _____	City/State/Zip: <u>Dallas TX 75243</u>
Phone/Fax: _____	Phone/Fax: <u>972-231-8893</u>

Present use of the property: Shopping Center with existing cell tower in parking lot

Proposed use of the property: Same uses but additional co-located carrier on tower

Status of development plans:  None  Site Plans Complete  Building Plans Complete

1 additional ground equipment



ACKNOWLEDGMENTS

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Planning and Zoning Commission hearing thereon. I understand that if any of the above information is found to be wrong or inaccurate that my application may be removed from consideration prior to the time the application is voted upon by the governing body of the Town. I further acknowledge that attesting to inaccurate or false information on this zoning application can result in conviction of a misdemeanor and fine not to exceed \$2,000.

I understand that in the event the undersigned is not present or represented at the public hearing the Planning and Zoning Commission shall have the power to dismiss this proposal either at the call of the case or after hearing, and such dismissal shall constitute a denial by both the Planning and Zoning Commission and the Town Council.

I reserve the right to withdraw this proposal at any time, except during notice periods, upon written request filed with the Town Secretary, and such withdrawal shall immediately stop all proceedings thereon; provided, however, withdrawal filed at any time after the giving of notice of the Planning and Zoning Commission hearing shall constitute a denial by the Commission and the Town Council. I understand that the filing fee is not refundable upon withdrawal of the proposal.

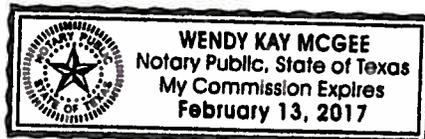
Applicant: K Zebaloch for Verizon Wireless Date: 3/24/15

State of Texas )  
County of Dallas

Sworn and subscribed before me the undersigned notary public this the 25<sup>th</sup> day of March 2015.

Wendy K. McGee

Notary Public



Commission Expires:  
Seal:

OFFICE USE ONLY

Application Checklist:

- Complete application form
- Agent Authorization Form (if necessary)
- Application Fee
- Site Plan
- Additional Submittals Information

Application accepted by: Chelsea Nelson Date: 4-1-15

Checked for completeness: ✓ Fee Paid: ✓ Receipt No.: 63345

Remarks: \_\_\_\_\_

Set for P&Z: May 4 Set for Council: May 11



Agent Authorization Form – to be used if Owner is not Applicant

Date: 3/24/15

This letter shall serve as authorization for Griffin Harris PLLC / Kathy Zibilich to file this application for the property described herein.

Owner: Fand S Northlake Partners LLC and DRM Partners, L.P.

Address: 1515 West 190th St Suite 455

City / State / Zip: Gardena CA 90248

Phone / Fax: \_\_\_\_\_

Recorded in Volume \_\_\_\_\_, Page Document No. D206028438, Tarrant County Deed Records

By: David Gayl, David Gayl, Its Agent  
Owner's Signature Fand S Northlake Partners, LLC  
A Delaware limited liability company

State of ~~Texas~~ <sup>California</sup> )  
County of )

See next page for California acknowledgment.

Sworn and subscribed before me the undersigned notary public this the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_.

\_\_\_\_\_  
Notary Public

Commission Expires:

Seal:

### ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles

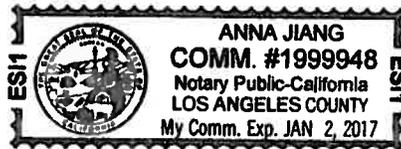
On March 27, 2015 before me, Anna Jiang, Notary Public  
(insert name and title of the officer)

personally appeared David Gayl  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/it~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature  (Seal)



DRM Partners, L.P.



Agent Authorization Form - to be used if Owner is not Applicant

Date: 3/24/15

This letter shall serve as authorization for Griffin Harris PLLC / Kathy Zibilich to file this application for the property described herein.

Owner: F and S Northlake Partners LLC and DRM Partners, L.P.

Address: 1515 West 190th St Suite 455

City / State / Zip: Gardena CA 90248

Phone / Fax: \_\_\_\_\_

Recorded in Volume \_\_\_\_\_, Page Document No. D206028438, Tarrant County Deed Records

By: David Gayl, David Gayl, Its: General Partner  
Owner's Signature DRM Partners, L.P. a Texas Limited Partnership  
By: Dave's Northlake LLC, Its General Partner

State of ~~Texas~~ <sup>California</sup> )  
County of \_\_\_\_\_ )

See next page for California acknowledgment

Sworn and subscribed before me the undersigned notary public this the \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_.

Notary Public

Commission Expires:

Seal:

### ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California  
County of Los Angeles

On March 27, 2015 before me, Anna Jiang, Notary Public  
(insert name and title of the officer)

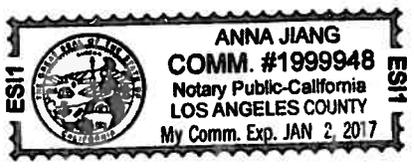
personally appeared David Goyl  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/~~she/they~~ executed the same in his/~~her/their~~ authorized capacity(ies), and that by his/~~her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 

(Seal)





## ADDITIONAL SUBMITTAL INFORMATION

- Any final environmental assessment and/or final environmental impact statement that may be required pursuant to state or federal statutes
- Copies of studies or analyses upon which have been based projections for need or demand for the proposed facility
- Copies of studies or analysis upon which alternatives have been considered and evaluated
- Description of present use, assessed value & actual value of the land affected by the proposed facility
- Description of the proposed use, anticipated assessed value and supporting documentation
- Description of any long term plans or master plan for the future use or development of the property
- Description of the applicant's ability to obtain needed easements to serve the proposed use
- Description of the type, feasibility and cost of any proposed mitigation necessary to make the proposed use compatible with current and future land use patterns
- Description of any special construction requirements that may be necessary for any construction or development on the subject property
- If the proposed use will result in a significant increase in traffic, a traffic impact analysis prepared by a certified professional engineer qualified in the field of traffic engineering and forecasting
- A noise management plan detailing the projected noise produced by the proposed use, including, but not limited to, the projected noise volume and duration, and the noise mitigation measures proposed to be implemented

Additional Submittal Information for Amendment to SUP for cell tower 3201/3253 W. Pioneer Parkway to add antennas and related ground equipment

An NEPA report required pursuant to federal statutes was prepared by Trileaf environmental & Property Consultants for this site on December 12, 2014. Pursuant to information provided in the attached nationwide programmatic agreement co-location criteria verification form for towers built before 3.16.01, consultation with the SHPO is not required.

The attached RF affidavit addresses the need for the proposed antennas.

The attached SAR affidavit addresses the alternatives that were considered. No alternative sites were considered because co-location on an existing tower in a commercial area close to the search ring is considered the ideal choice for a site.

The proposed antennas are to be mounted on an existing cell tower located at the rear of a shopping center at 3201 W. Pioneer Parkway. The cell tower has a separate e911 address of 3253 W. Pioneer Parkway. The assessed value of the land is \$791,487 according to 2014 Tarrant Appraisal District records, attached. There is no separate assessment of the land used for the existing cell tower and ground equipment.

The proposed use is additional antennas on an existing tower and related ground equipment for cellular communication. The existing tower is 90' tall, and the additional antennas are to be mounted at an 80' centerline as shown in the attached site tower elevation. There will be additional ground equipment associated with the new antennas and therefore the city requires an amendment to the existing SUP at the site. The layout of the ground equipment is shown on the attached site plans. There is no anticipated change in the assessed value of the land due to the additional antennas or ground equipment.

The applicant has no plans for future use of the property other than the requested antennas and ground equipment.

The applicant has negotiated easements required for access and utilities as part of the lease.

There should not be any mitigation necessary to make the proposed use compatible with current or future land use patterns, the property is currently being used as a cell tower site, it is zoned C-4 and it is adjacent to C-4 properties.

There are no special construction requirements necessary for this development.

There will be no significant increase in traffic due to this development.

There will be no projected noise produced by the proposed use other than the standard noise produced during construction of the site.



## Nationwide Programmatic Agreement Co-location Criteria Verification Form

Site Name: PANTEGO (W PIONEER PKWY)  
 Business Unit Number: 843693 App ID: 241555  
 Site Address: 3253 WEST PIONEER PARKWAY, ARLINGTON, TX 76013, TARRANT County  
 Carrier Name: Verizon Wireless  
 Customer Site ID: 287136

Tower was built on or before 3/16/01? Yes  No

### Criteria for Programmatic Agreement Eligibility for Towers Built on or before March 16, 2001

- |                              |  |  |
|------------------------------|--|--|
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | The mounting of the antenna will result in a substantial increase in the size of the tower <sup>1</sup> .  |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | The tower has been found by the FCC to have an adverse or potentially adverse effect that has not been resolved through an MOA or other mechanism.   |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | The tower is the subject of a pending environmental review or proceeding before the FCC involving compliance with Section 106 of the NHPA.   |
| <input type="checkbox"/> YES | <input checked="" type="checkbox"/> NO | The tower owner has received written or electronic notice from the FCC that the FCC is in receipt of a complaint from a member of the public, a SHPO or the Council that the co-location has an adverse effect on one or more historic properties. |

### Criteria for Programmatic Agreement Eligibility for Towers Built after March 16, 2001

- |                              |                             |  |
|------------------------------|-----------------------------|--|
| <input type="checkbox"/> YES | <input type="checkbox"/> NO | No Section 106 review (SHPO review) or any associated environmental (NEPA) review required by the FCC has been completed for this tower.   |
| <input type="checkbox"/> YES | <input type="checkbox"/> NO | The mounting of the antenna will result in a substantial increase in the size of the tower. <sup>1</sup>   |
| <input type="checkbox"/> YES | <input type="checkbox"/> NO | The tower is the subject of a pending environmental review or proceeding before the FCC involving compliance with Section 106 of the NHPA.   |
| <input type="checkbox"/> YES | <input type="checkbox"/> NO | The tower owner has received written or electronic notice from the FCC that the FCC is in receipt of a complaint from a member of the public, a SHPO or the Council that the co-location has an adverse effect on one or more historic properties. |

Approval is based upon a centerline of \_\_\_\_\_.

If any of the above answers are "YES," consultation with the SHPO is required prior to placement of the antenna on the tower.

Approved By:

**Monica Gambino**

Thursday, May 29, 2014

A COPY OF THIS COMPLETED FORM MUST BE PROVIDED TO THE CARRIER AND TO THE CROWN CASTLE REGULATORY DEPARTMENT.

<sup>1</sup> "Substantial increase in size of the tower" means: 1) an increase in the tower height of more than 10% or by the height of one antenna array with a separation distance from the nearest existing array not to exceed 20 feet, whichever is greater; 2) the installation of more than 4 new equipment cabinets or more than 1 new equipment building; 3) the addition of an appurtenance that would protrude from the edge of the tower more than 20 feet or more than the width of the tower at the level of the appurtenance, whichever is greater; or 4) the mounting of the antenna would involve excavation outside the current boundaries of the site and any access or utility easements currently related to the site.

**SAR AFFIDAVIT**

STATE OF TEXAS                    §  
  §  
COUNTY OF TARRANT §

BEFORE ME, the undersigned authority, this day personally appeared Alec Broadus, who being by me first duly sworn, on oath says as follows:

1. "My name is Alec Broadus. I am over the age of 18 and have never been convicted of a felony or crime involving moral turpitude. I am the Site Acquisition Representative for Verizon Wireless responsible for the Search Ring encompassing the site located at 3201 W. Pioneer Parkway, Pantego Texas 76013 (the "Proposed Site"). I have worked as an independent contractor for Verizon Wireless, or its predecessor, as a Site Acquisition Representative since January 7, 2014. I have personal knowledge of the facts and statements contained herein and they are all true and correct."
  
2. "Verizon Wireless issued a "Search Ring" for the site in Arlington Texas (a true and correct copy of which is attached hereto as Exhibit A). The radius of the Search Ring is approximately .25 miles. This Search Ring was primarily issued to address coverage problems at W. Pioneer Parkway and Roosevelt Drive in Pantego, Texas. "
  
3. "I have been personally involved in the identification of viable candidates and in the negotiations with potential lessors for this site."
  
4. "F and S Northlake Partners LLC and DRM Partners, L.P. are interested in leasing a portion of their property located at the Proposed Site for additional antennas on an existing telecommunications tower (which has its own address for e911 at 3253 W. Pioneer Parkway, Pantego Texas 76013), and related ground equipment. No other candidates were contacted because co-location on an existing tower on commercial property this close to the Search Ring is the ideal choice and the least intrusive alternative."
  
5. "The design of the wireless facilities for the Proposed Site will be co-located antennas with an 80' centerline on an existing 90' tower, which makes the tower (including its antennae, and ground equipment layout) the best design available to serve Verizon Wireless' customers' coverage needs. The tower height will not be increased, and the equipment on the ground will be secured with a 6' chain link fence topped with barbed wire, in a 15' x 24' total lease area. The equipment will be on a 10' x 22' concrete slab in outdoor cabinets. No parking spaces will be removed."

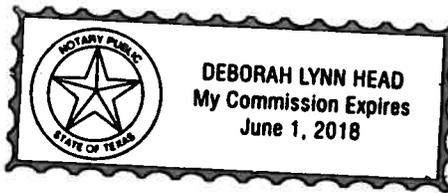
FURTHER, Affiant sayeth not.

Alec Broadus  
Alec Broadus

SWORN TO AND SUBSCRIBED BEFORE ME this 30 day of March,  
2015, by Alec Broadus.

D Head  
Notary Public, in and for the State of Texas

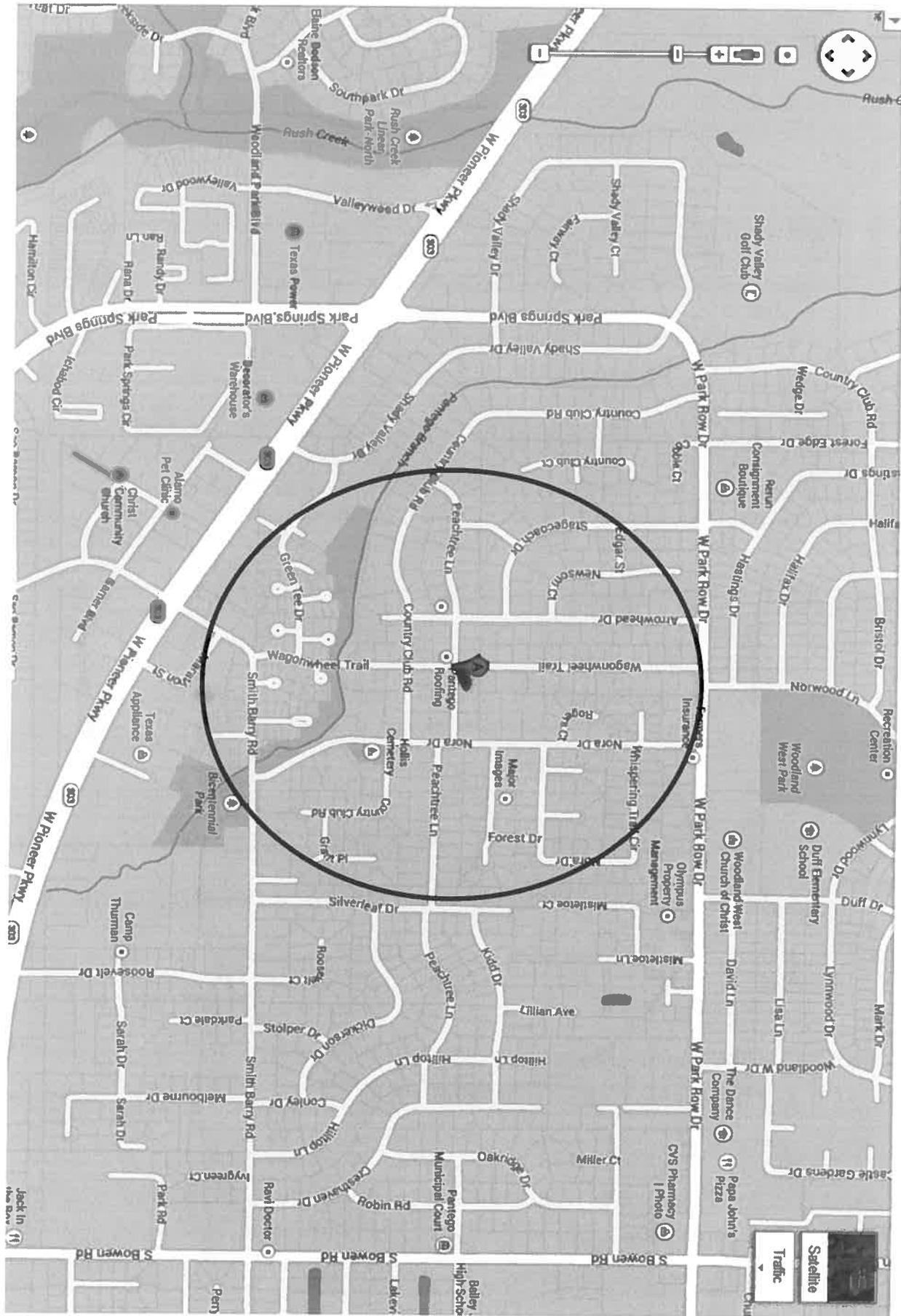
My commission expires:  
June 1, 2018



**Exhibit A**

*See attached Search Ring*

SR 0.25 mile wide Radius



**AFFIDAVIT**

STATE OF TEXAS           §  
  §  
COUNTY OF TARRANT   §

BEFORE ME, the undersigned authority, this day personally appeared Muhammad Umar Siddiqui , who being by me first duly sworn, on oath says as follows:

1. “My name is Muhammad Umar Siddiqui. I am over the age of 18 and have never been convicted of a felony or crime involving moral turpitude. I have a MS Telecommunications Engineering and an BS Computer Engineering degree. I have been working as a radio frequency specialist since 2012. I have personal knowledge of the facts and statements contained herein.”
2. “I am an RF Design Engineer for Dallas MTA, L.P. d/b/a Verizon Wireless ("Verizon Wireless") in the Dallas-Fort Worth Market. As a radio frequency specialist, I am trained to identify gaps in coverage in wireless communications systems and to assess the ability of proposed antenna sites to remedy gaps in signal coverage.”
3. “Verizon Wireless is authorized by the Federal Communications Commission to build a wireless communications system that will provide reliable coverage within the Town of Pantego.”
4. “Verizon Wireless currently has a significant gap in reliable coverage in the Town of Pantego. A gap in coverage is evidenced by the inability to adequately transmit or receive calls, or by interrupted or disconnected calls.”
5. “The significant gap in reliable coverage that exists in the Town of Pantego prevents Verizon Wireless from providing seamless wireless service to current and future public and private users of its wireless communication system including police, fire, ambulance and emergency response personnel.”
6. “Since wireless communication is used with increasing frequency to report crimes, accidents, fires, medical emergencies and other threats to people or property, a gap in coverage represents a demonstrable threat to public health, safety and welfare.”
7. “Verizon Wireless has conducted radio frequency studies of the area surrounding the proposed wireless communications facility site located at 3253 W. Pioneer Parkway, Pantego, Texas 76013 (the "Proposed Site"). Attached to this affidavit and incorporated herein by reference as Exhibits A and B are propagation studies depicting simulated radio frequency coverage in the area of the Proposed Site both before (Exhibit A) and after (Exhibit B) the Proposed Site is constructed and activated.”

8. "Exhibit A is a true and accurate simulation of existing radio frequency coverage in the area of the Proposed Site and shows the location of Verizon Wireless' existing sites in and around the Town of Pantego that indicates varying degrees of less than optimum coverage in the general vicinity of the Proposed Site, including, without limitation, existing significant gaps in coverage. In real world terms, the colors indicate the following:

White= No coverage

Pink and Purple = Coverage outdoors

Yellow = Coverage inside vehicles

Light Greens = Coverage inside residences

Darker Greens = Coverage inside commercial buildings

This evidence conclusively demonstrates Verizon Wireless' need for the Proposed Site."

9. "Natural and man-made features such as large buildings, hills, trees, and ridge lines all affect the way a signal travels, and can distort or obstruct radio signals. Radio signals will either bounce off, bounce back or be absorbed by these obstructions. These constraints severely limit the suitability of sites for purposes of remedying a gap in signal coverage."

10. "The Proposed Site takes into account the foregoing topographic constraints and as shown in Exhibit B, following construction and activation of the Proposed Site, Verizon Wireless' coverage and capacity needs in the immediate area of the Proposed Site will be substantially satisfied."

11. "We have performed an FCC Antenna Structure Registrations Search for a one mile radius around the coordinates of the Proposed Site. The results of this search are attached and incorporated herein by reference as Exhibit C. Out of the 5 results that showed up in the search, only 2 are valid one of which is too close (<0.6 mile) to an existing site whereas the other one's location is not optimal for the coverage needs. The proposed co-location on an existing tower is best suited to serve the target area with good coverage. This additional evidence further demonstrates the need for the Proposed Site."

12. "This Proposed Site will provide optimal coverage for the residential and commercial areas within 1 mile around the Proposed Site and will serve both coverage and capacity needs by filling existing significant gaps in the ability of remote users of Verizon Wireless' wireless network to access the national telephone network."

13. "When coupled with Verizon Wireless' existing system, the minimum height to the centerline of the antennas at the Proposed Site necessary to meet Verizon Wireless' radio frequency coverage and capacity objectives is eighty feet (80'). The Proposed Site, as designed, will substantially accomplish Verizon Wireless' radio frequency goals in the area while minimizing any aesthetic impact to the community."

FURTHER, Affiant sayeth not.

\_\_\_\_\_  
Muhammad Umar Siddiqui

SWORN TO AND SUBSCRIBED BEFORE ME this 31 day of March,  
2015, by Muhammad Umar Siddiqui .

\_\_\_\_\_  
Notary Public, in and for the State of Texas

My commission expires:  
07/05/16



**EXHIBIT A**

**To Affidavit of Muhammad Umar Siddiqui**

*See attached Before Propagation Map*



# PARK\_ROW\_DRIVE

BEFORE



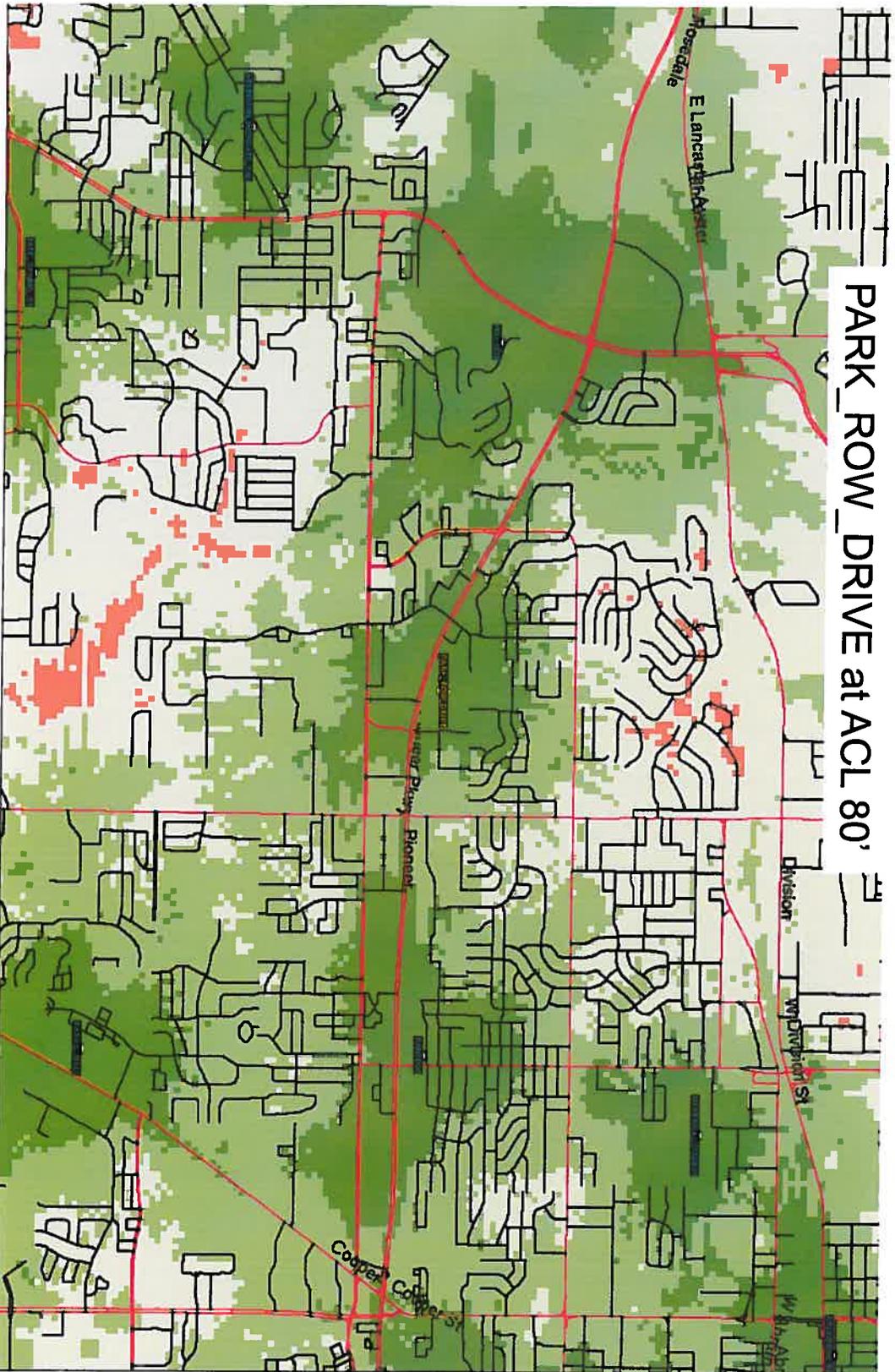
**EXHIBIT B**

**To Affidavit of Muhammad Umar Siddiqui**

*See attached After Propagation Map*



# PARK\_ROW\_DRIVE



**EXHIBIT C**

**To Affidavit of Muhammad Umar Siddiqui**

*See attached FCC Antenna Structure Registrations Study Results*

## Antenna Structure Registration

[FCC](#) > [XIR](#) > [ASR](#) > [Online Systems](#) > [ASR Search](#)

ASR Registration Search

### Registration Search Results

**ADVANCED SEARCH**

[Home Search](#) [Refine Search](#) [Printable Page](#) [Query Download](#) [View Results](#)

#### Displayed Results

Matches 1-5 (of 5)

1

Pending App

#### Specified Search

Latitude="32-42-44.1 N", Longitude="97-9-28.5 W", Radius=1.6 Kilometers

Display:

	Registration Number	Status	File Number	Owner Name	Latitude/Longitude	Structure City/State	Overall Height Above Ground (AGL)
1	<a href="#">1049041</a>	Terminated	A0057716	CROWN COMMUNICATION INC.	32-42-25.0N 097-08-44.0W	PANTEGO, TX	45.7
2	<a href="#">1058500</a>	Terminated	A0466435	NEW CINGULAR WIRELESS SERVICES, INC.	32-42-41.0N 097-09-27.0W	PANTEGO, TX	30.4
3	<a href="#">1270875</a>	Cancelled	A0684078	TowerCo II LLC	32-43-20.4N 097-09-32.1W	Arlington, TX	25.9
4	<a href="#">1274132</a>	Constructed	A0811431	SBA 2012 TC II, LLC	32-43-20.4N 097-09-32.1W	Arlington, TX	33.5
5	<a href="#">1275928</a>	Constructed	A0907638	CCATT LLC	32-42-27.4N 097-08-34.2W	PANTEGO, TX	46.3

Matches 1-5 (of 5)

1

<b>ASR Help</b>	<a href="#">ASR License Glossary</a> - <a href="#">FAQ</a> - <a href="#">Online Help</a> - <a href="#">Documentation</a> - <a href="#">Technical Support</a>
<b>ASR Online Systems</b>	<a href="#">IOWAIB</a> - <a href="#">CORES</a> - <a href="#">ASR Online Files</a> - <a href="#">Application Search</a> - <a href="#">Registration Search</a>
<b>About ASR</b>	<a href="#">Privacy Statement</a> - <a href="#">About ASR</a> - <a href="#">ASR Home</a>
<b>Registration Search</b>	By Registration Number <input type="text"/> <input type="button" value="SUBMIT"/>

[FCC](#) | [Wireless](#) | [ULS](#) | [CORES](#)

Federal Communications Commission  
445 12th Street SW  
Washington, DC 20554

[Help](#) | [Top](#)

Phone: 1-877  
TTY: 1-717  
[Submit My](#)

# Tarrant Appraisal District

## Real Estate

03/24/2015

**Account Number:** 05837952  
**Georeference:** [45977--04](#)  
**Property Location:** 3201 W PIONEER PKWY, PANTEGO, 76013

**Owner Information:** STAGLIANO V J  
 STAGLIANO PEGGY ETAL  
 Attention: ATTN JOHN D GOURLEY  
 7632 WESTWIND DR  
 FORT WORTH TX 76179-2826

**5 Prior Owners**

**Legal Description:** WEST 303 CENTRE  
 Lot: NO  
 LEGAL

**Taxing Jurisdictions:** 019 TOWN OF PANTEGO  
 220 TARRANT COUNTY  
 901 ARLINGTON ISD  
 224 TARRANT COUNTY HOSPITAL  
 225 TARRANT COUNTY COLLEGE

This information is intended for reference only and is subject to change. It may not accurately reflect the complete status of the account as actually carried in TAD's database

### Certified Values for Tax Year 2014

	Land	Impr	2014 Total ††
<b>Market Value</b>	\$791,487	\$2,583,513	\$3,375,000
<b>Appraised Value †</b>	\$791,487	\$2,583,513	\$3,375,000
<b>Gross Building Area †††</b>			82,028
<b>Net Leasable Area †††</b>			82,028
<b>Land SqFt</b>			0
<b>Land Acres</b>			6.0566

† Appraised value may be less than market value (due to state-mandated limitations on value increases)  
 †† A zero value indicates that the property record has not yet been completed for the indicated tax year  
 ††† Rounded

### 5-Year Value History

Tax Year	Appraised Land	Appraised Impr	Appraised Total	Market Land	Market Impr	Market Total
2013	\$791,487	\$2,888,513	\$3,680,000	\$791,487	\$2,888,513	\$3,680,000
2012	\$791,487	\$2,908,513	\$3,700,000	\$791,487	\$2,908,513	\$3,700,000
2011	\$791,487	\$3,483,498	\$4,274,985	\$791,487	\$3,483,498	\$4,274,985
2010	\$791,487	\$3,483,498	\$4,274,985	\$791,487	\$3,483,498	\$4,274,985
2009	\$791,487	\$3,574,228	\$4,365,715	\$791,487	\$3,574,228	\$4,365,715

2015 Notice Sent:

Protest Deadline:

**Exemptions:**

**Property Data:**

**Appraisal Site:** 80500935

**Deed Date:** 08/11/2000  
**Deed Page:** 0000278  
**Deed Volume:** 0014473  
**Instrument:** 00144730000278

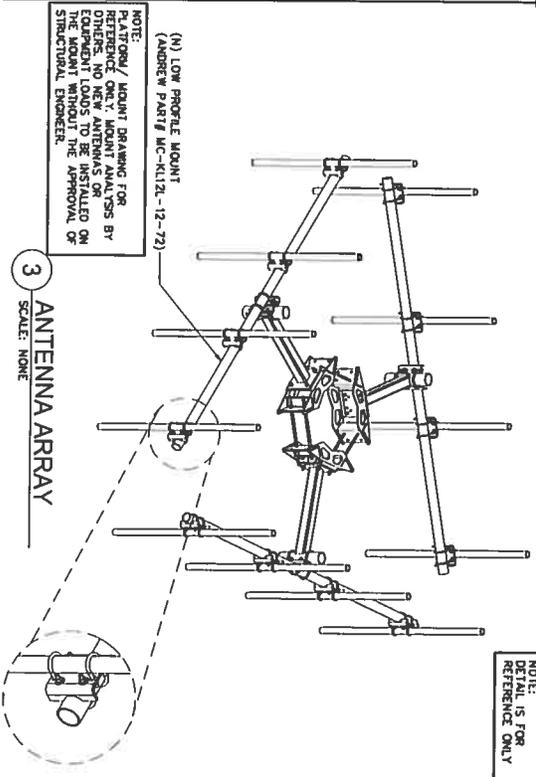
**Site Name:** NORTHLAKE CENTRE

**State Code:** F1 Commercial

**Class:** Retail-Neighborhood Shopping Center  
**# of Parcels:** 1

**TAD Map:** [2102-380](#)  
**MAPSCO:** TAR-081V  
**Agent:** MCELROY R E LLC

**Primary Building:**  
**Building Name:** NORTHLAKE CENTRE / 05837952  
**Building Type:** Commercial  
**Year Built:** 1985



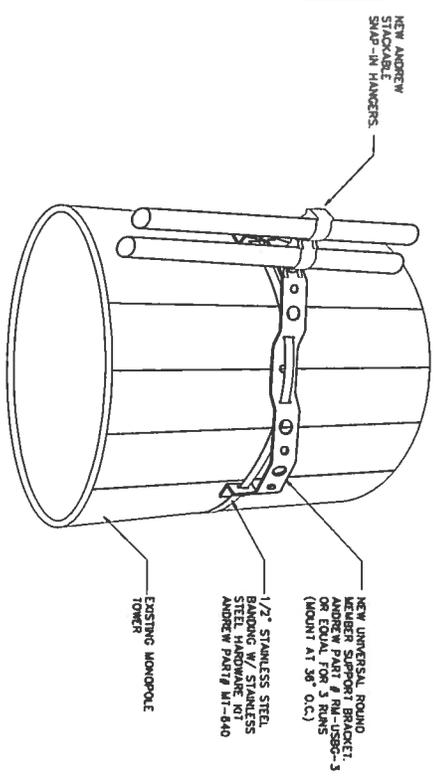
NOTE: DETAIL IS FOR REFERENCE ONLY

NOTE: (N) LOW PROFILE MOUNT (ANDREW PART# MC-K12X-12-72)

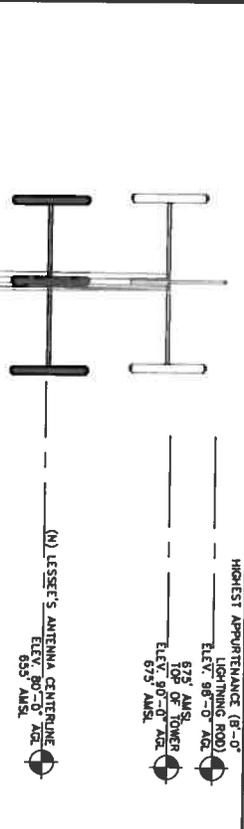
NOTE: PLATFORM/MOUNT DRAWING FOR REFERENCE ONLY. MOUNT ANALYSIS BY OTHERS. NO NEW ANTENNAS OR EQUIPMENT LOADS TO BE INSTALLED ON THIS MOUNT WITHOUT THE APPROVAL OF STRUCTURAL ENGINEER.

NOTE: ALL HARDWARE TO BE PROVIDED BY TOWER MANUFACTURER & INSTALLED BY GENERAL CONTRACTOR

NOTE: CONTRACTOR SHALL VERIFY W/ STRUCTURAL ANALYSIS TO THE PREFERRED LOCATION OF CABLE LADDER & CABLE MOUNTING REQUIREMENTS PRIOR TO INSTALL



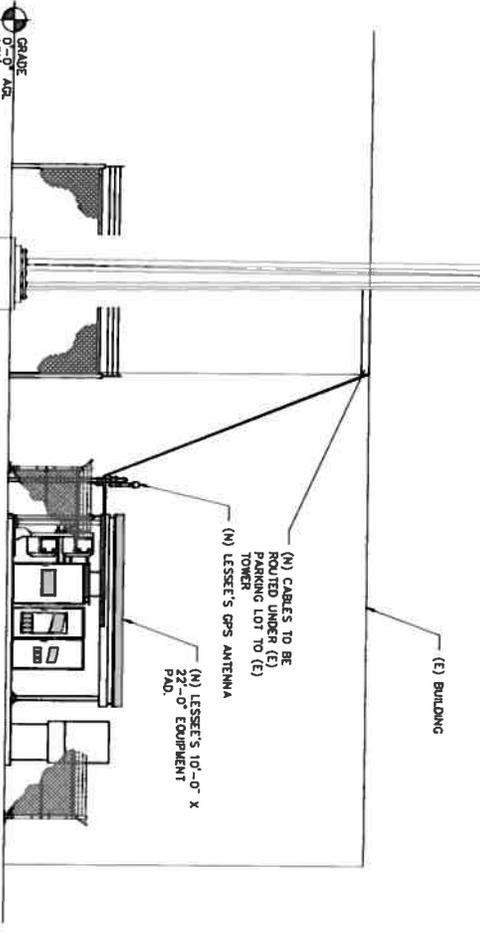
2 CABLE SUPPORT DETAIL  
SCALE: NONE



NOTE: ALLPRO C&I SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR THE NEW MOUNT STRUCTURE. NEW ANTENNAS & EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN VERIFIED TO BE WITHIN THE CAPACITY OF THIS TOWER OR STRUCTURE. THESE ANTENNAS & EQUIPMENT, PRIOR TO ANY ANTENNA OR EQUIPMENT INSTALLATION, A STRUCTURAL EVALUATION OF TOWER OR MOUNTING SYSTEMS, INCLUDING ALL MOUNTING SYSTEMS AND HARDWARE, SHOULD BE PERFORMED.

TOWER FOUNDATION AND SEPARATE FOUNDATIONS ARE TO BE PROVIDED BY OTHERS OUTSIDE THIS CONSTRUCTION DOCUMENT SET

NOTE: RRHS TO BE MOUNTED CLOSE TO THE TOWER ON MONOPOLES WHERE THE MOUNT OR PLATFORM ATTACHES



1 TOWER ELEVATION  
SCALE: 1" = 10'-0"

LATITUDE: 31° 58' 43.7123" N  
LONGITUDE: 82° 21' 57.1348" W  
ELEVATION: 579' AMSL

<p>SHEET NAME TOWER ELEVATION</p> <p>SHEET NUMBER A-1</p>	<p>ALLPRO CONSTRUCTION SERVICES, INC. 10000 W. STATE HIGHWAY 114 DALLAS, TEXAS 75244 TEL: 972.412.1100 WWW.ALLPROCONSTRUCTION.COM</p>	<p>DATE DRAWN 8/7/18</p>	<p>NEW SITE BUILD PARK ROW</p> <p>SITE # ID 287136 3253 W PROBERT PARKWAY ARLINGTON, TEXAS 76013 TARRANT COUNTY</p>	<p>7 VILLAGE CIRCLE SUITE #400 WILLIAMS, TEXAS 76762</p>	<p>DRAWN BY J. VOGT</p>	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>ISSUED FOR REVIEW</th> <th>REVISION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	ISSUED FOR REVIEW	REVISION																																				
		NO.			DATE		ISSUED FOR REVIEW	REVISION																																						
<p>APPROVED BY: J. GEORGE</p>																																														

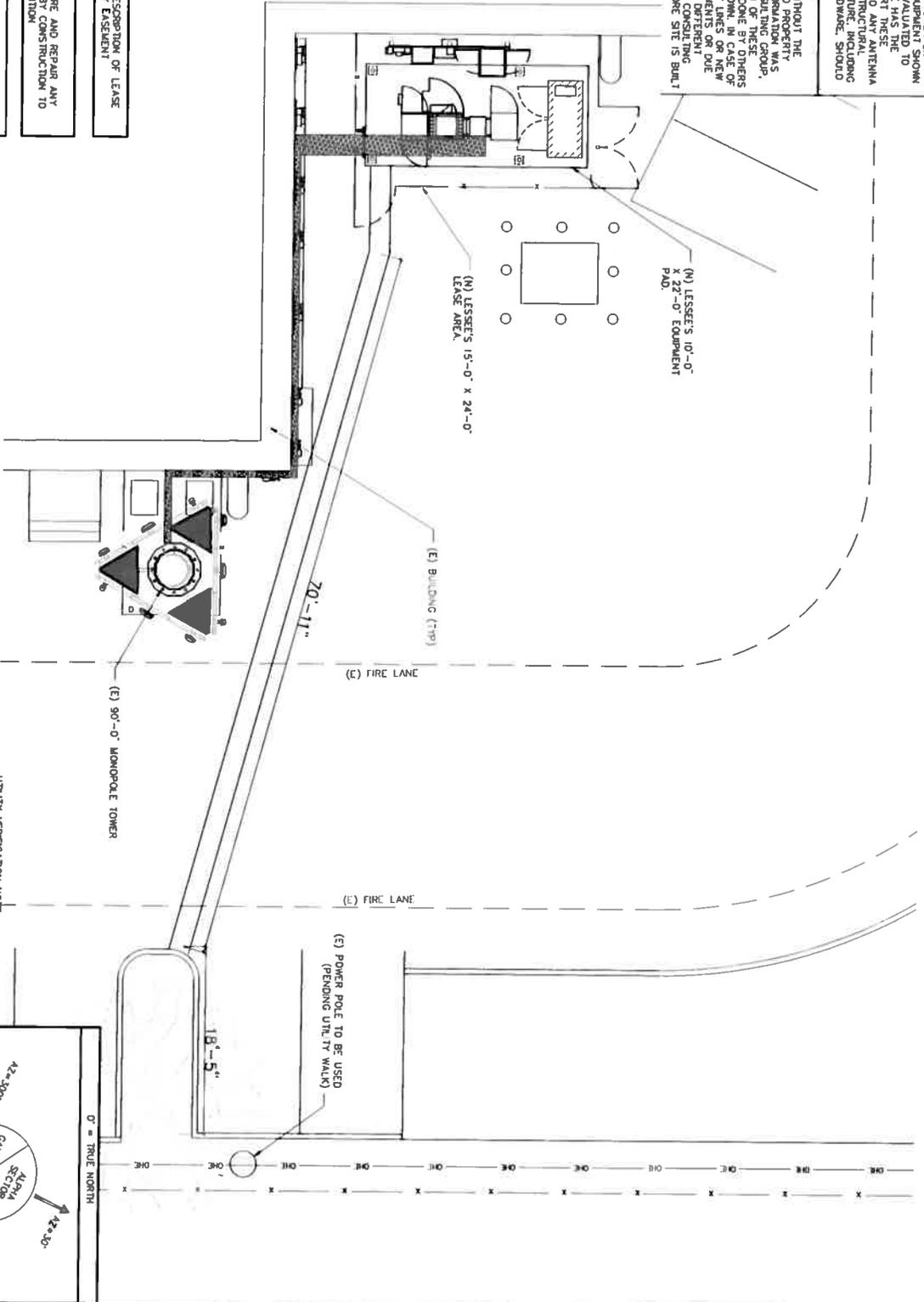
NOTE:  
ALPRO CO SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. NEW ANTENNAS & EQUIPMENT SHOWN ON THIS PLAN HAVE NOT BEEN EVALUATED TO VERIFY THE TOWER HAS SUFFICIENT CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS & EQUIPMENT. PRIOR TO ANY ANTENNA OR EQUIPMENT INSTALLATION, A STRUCTURAL EVALUATION OF TOWER OR STRUCTURE, INCLUDING FOUNDATION, STEELS AND HARDWARE, SHOULD BE PERFORMED.

NOTE:  
THIS SITE PLAN WAS PREPARED WITHOUT THE BENEFIT OF A RECENT SURVEY. THE LINES OR EXISTING EASEMENT INFORMATION WAS MADE AVAILABLE TO ALPRO CONSULTING GROUP, INC. AT THE TIME OF PREPARATION OF THESE PLANS. THE ENGINEER SHALL BE DONE BY OTHERS BEING THE RESPONSIBILITY OF THE CONTRACTOR. ANY CONFLICTS DUE TO PROVISIONS, IN CASE OF AN EXPANSION ON AN EXISTING EASEMENTS OR DUE TO LANDLORD PREFERENCE FOR A DIFFERENT DESIGN, PLEASE CONTACT ALPRO CONSULTING GROUP, INC FOR A REDVISION BEFORE SITE IS BUILT.

NOTE:  
CONTRACTOR SHALL REGISTER AND REPAIR ANY DAMAGED AREAS CAUSED BY CONSTRUCTION TO ORIGINAL OR BETTER CONDITION.

NOTE:  
SEE SURVEY FOR LEGAL DESCRIPTION OF LEASE AREA, ACCESS AND UTILITY EASEMENT.

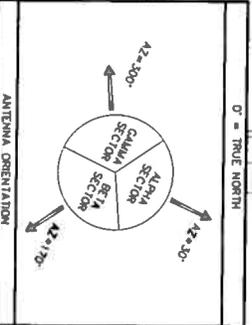
NOTE:  
DURING CONSTRUCTION CONTRACTOR TO MAINTAIN ALL ACCESS AND UTILITIES OPEN TO THE SITE BUSINESS DAY.



1 OVERALL SITE PLAN  
SCALE: 1" = 20'-0"



UTILITY VERIFICATION NOTE:  
CONTRACTOR SHALL VERIFY ALL EXISTING BURIED AND OVERHEAD UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED BY CONSTRUCTION AND COORDINATE WITH RESPECTIVE UTILITY COMPANY.



SHEET NAME  
OVERALL SITE PLAN  
SHEET NUMBER  
C-1

ALPRO CONSULTING GROUP, INC.  
3253 W. PRINCE PARKWAY  
ARLINGTON, TEXAS 76013  
TARRANT COUNTY

DATE DRAWN: 8/7/14  
DRAWN BY: J. VOIGT  
APPROVED BY: J. DEORDE

SITE # ID 287136  
NEW SITE BUILD  
PARK ROW

7 VILLAGE CIRCLE SUITE #400  
MCINTIRE, TEXAS 76262

NO.	DATE	REVISION
1	8/13/14	ISSUED FOR REVIEW

CONTRACTOR IS RESPONSIBLE FOR POSTING ALL FCC, FAA AND VENTRON WIRELESS WARNING SIGNS ON FENCE (SEE 7/C-7 FOR DETAIL)

(E) ROOF ACCESS LADDER

(N) LESSEE'S 15'-0" X 24'-0" LEASE AREA

(N) LESSEE'S FIBER MUX

(N) LESSEE'S 200A H-FRAME WITH HOISTMAN BOX FOR TELCO (SEE 7/E-2 FOR DETAIL)

(N) LESSEE'S GPS ANTENNA MOUNTED TO ICE BRIDGE POST (SEE 1/C-5 FOR DETAIL)

(N) LESSEE'S B-9'-0" WIDE DOUBLE SWING GATE (SEE 2/C-8 FOR DETAIL)

(E) TRANSFORMER

(E) BOLLARDS

(N) 6'-0" HIGH CHAIN LINK FENCE (SEE 2/C-8 FOR DETAIL)

(N) 4'-0" WIDE GATE

(N) 3'-0" WIDE TRENCH TO ROUTE (N) ELEC. AND TELCO.

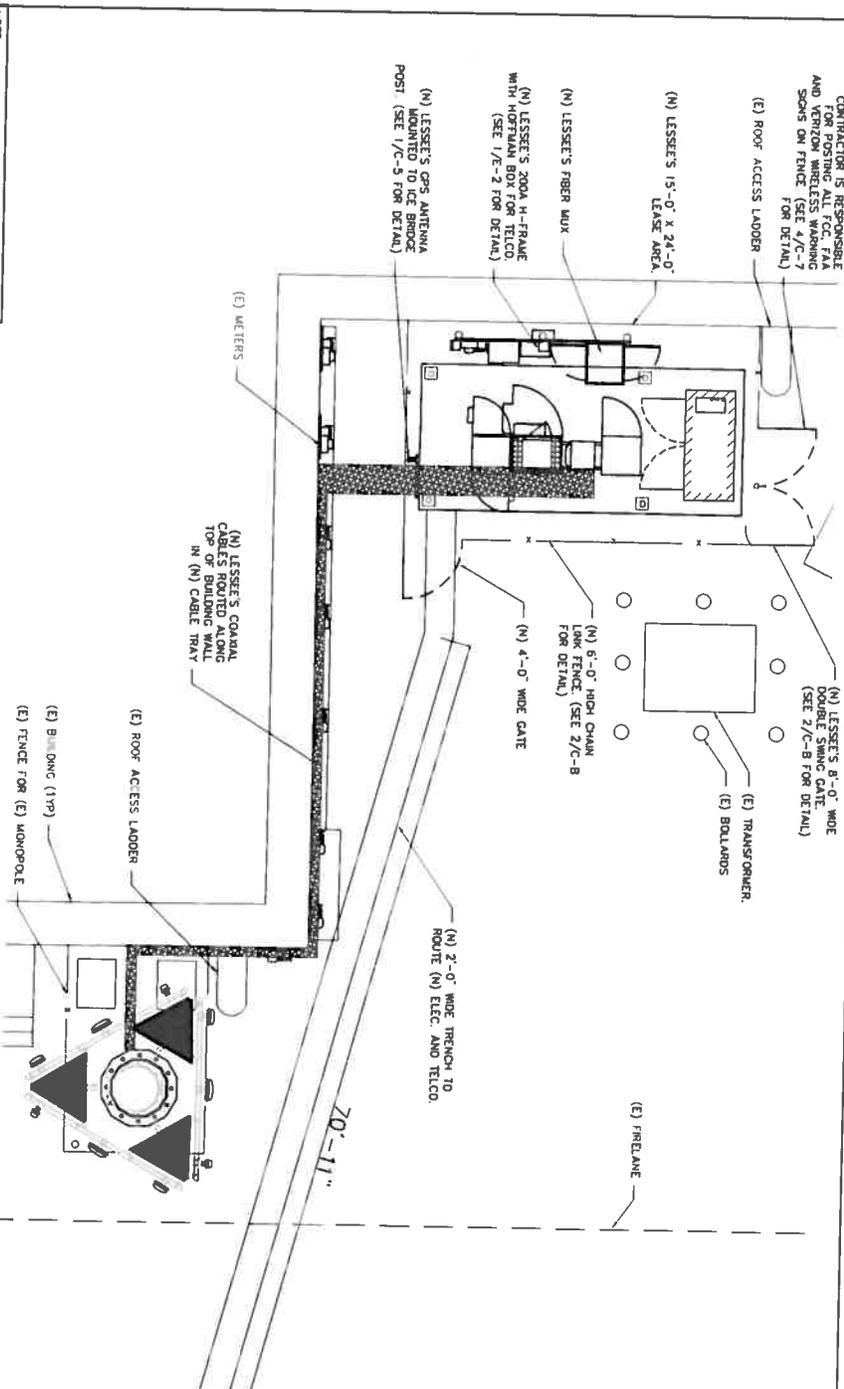
(E) FIRELANE

(N) LESSEE'S COAXIAL CABLES ROUTED ALONG TOP OF BUILDING WALL IN (N) CABLE TRAY

(E) ROOF ACCESS LADDER

(E) BOLLARD (1 TP)

(E) FENCE FOR (E) MONOPOLE



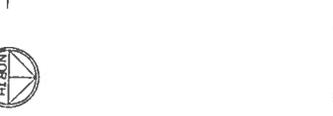
NOTE: ALLPRO CD SCOPE OF WORK DOES NOT INCLUDE A STRUCTURAL EVALUATION OF THIS TOWER OR STRUCTURE. REPAIRS AND EQUIPMENT SHOWN ON THIS PLAN MAY BE NECESSARY TO VERIFY THE TOWER OR STRUCTURE HAS THE CAPACITY TO ADEQUATELY SUPPORT THESE ANTENNAS & EQUIPMENT. PRIOR TO ANY ANTENNA EQUIPMENT INSTALLATION, A STRUCTURAL EVALUATION OF THE TOWER OR STRUCTURE, INCLUDING ALL MOUNTING SYSTEMS AND HARDWARE, SHOULD BE PERFORMED.

NOTE: OUR SITE PLAN WAS PREPARED WITHOUT THE BENEFIT OF A RECENT SURVEY. NO PROPERTY LINES OR EXISTING EASEMENT INFORMATION WAS MADE AVAILABLE TO ALLPRO CONSULTING GROUP. PLANS DUE DILIGENT STATIONING OF THESE CHAINERS BEFORE THE SITE IS BUILT AS SHOWN. IN CASE OF ANY CONFLICTS DUE TO PROPERTY LINES OR NEW TO LANSON OR AN EXISTING EASEMENTS OR DUE TO UNUSUAL PREVIOUS SURVEYING OPERATIONS, PLEASE CONTACT ALLPRO CONSULTING GROUP, INC FOR A REVISION BEFORE SITE IS BUILT!

NOTE: CONTRACTOR REQUIRED TO PROVIDE POSITIVE DRAINAGE OFF LEASE AREA.

1 ENLARGED SITE PLAN

SCALE: 1/8" = 1'-0"



NOTE 1: THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL INVESTIGATION WORK, NOTIFY THE PROJECT MANAGER OF THE DIFFERENTIAL TO CONDITIONS, AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CONDITIONS OF THE CONTRACTOR FOR ANY CONDITIONS DISCOVERED BY THE CONTRACTOR SHALL BE ALLOWED UNLESS THE SOIL STUDIES WILL BE ALLOWED UNLESS THE OWNER, VERBALLY, HAS SO NOTIFIED THE OWNER, ABOVE, OF SUCH DIFFERING SUBSURFACE CONDITIONS.

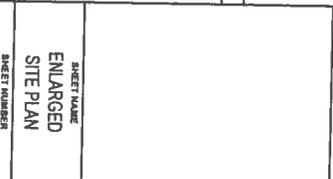
NOTE 2: ANY AREA ALTERED FROM CONSTRUCTION TO BE RETURNED TO ITS ORIGINAL STATE. GRASS AREA SHALL BE RESEED AND MAINTAINED UNTIL SEEDS HAVE ESTABLISHED.

NOTE 3: CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

NOTE 4: CONTRACTOR TO INSTALL EROSION CONTROL MEASURES ALONG PERIMETER OF ALL CONSTRUCTION AREAS TO PREVENT STORM WATER RUNOFF CONTAMINATION. (SEE 1/C-6 FOR DETAIL.)

NOTE 5: THE CONTRACTOR SHALL CLEAN-UP AND REMOVE FROM THE WORK SITE ON A DAILY BASIS (OR SOONER IF DIRECTED BY THE VENTRON WIRELESS PROJECT MANAGER) ALL RUBBISH AND OWN WORK. THE DEBRIS, RESULTING FROM HIS OWN WORK, OR SHALL BE TRASH SHALL SUPPLY A STORAGE/REMOVAL DEVICE AT JOBSITES WHERE CONSTRUCTION DEBRIS OR CARBAGE IS GENERATED.

NOTE 6: THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SURFACE GROWTH, INCLUDING TREES, VEGETATION, RUBBISH, UNDERGROWTH, STUMP AND ROOT STRUCTURES, SURFACE BOLLARDS, AND ALL OTHER OBJECTS PAYABLE BY ANCHOR FROM AREA, BUILDING AREA, AND ROADS.



0" = TRUE NORTH

NOTE 1: THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL INVESTIGATION WORK, NOTIFY THE PROJECT MANAGER OF THE DIFFERENTIAL TO CONDITIONS, AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CONDITIONS OF THE CONTRACTOR FOR ANY CONDITIONS DISCOVERED BY THE CONTRACTOR SHALL BE ALLOWED UNLESS THE SOIL STUDIES WILL BE ALLOWED UNLESS THE OWNER, VERBALLY, HAS SO NOTIFIED THE OWNER, ABOVE, OF SUCH DIFFERING SUBSURFACE CONDITIONS.

NOTE 2: ANY AREA ALTERED FROM CONSTRUCTION TO BE RETURNED TO ITS ORIGINAL STATE. GRASS AREA SHALL BE RESEED AND MAINTAINED UNTIL SEEDS HAVE ESTABLISHED.

NOTE 3: CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

NOTE 4: CONTRACTOR TO INSTALL EROSION CONTROL MEASURES ALONG PERIMETER OF ALL CONSTRUCTION AREAS TO PREVENT STORM WATER RUNOFF CONTAMINATION. (SEE 1/C-6 FOR DETAIL.)

NOTE 5: THE CONTRACTOR SHALL CLEAN-UP AND REMOVE FROM THE WORK SITE ON A DAILY BASIS (OR SOONER IF DIRECTED BY THE VENTRON WIRELESS PROJECT MANAGER) ALL RUBBISH AND OWN WORK. THE DEBRIS, RESULTING FROM HIS OWN WORK, OR SHALL BE TRASH SHALL SUPPLY A STORAGE/REMOVAL DEVICE AT JOBSITES WHERE CONSTRUCTION DEBRIS OR CARBAGE IS GENERATED.

NOTE 6: THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL SURFACE GROWTH, INCLUDING TREES, VEGETATION, RUBBISH, UNDERGROWTH, STUMP AND ROOT STRUCTURES, SURFACE BOLLARDS, AND ALL OTHER OBJECTS PAYABLE BY ANCHOR FROM AREA, BUILDING AREA, AND ROADS.

verizon wireless  
7 VILLAGE CIRCLE SUITE #400  
WESTLAKE TEXAS 76262

DATE DRAWN: 8/17/14  
DRAWN BY: J. VOIT  
APPROVED BY: J. GEORGE

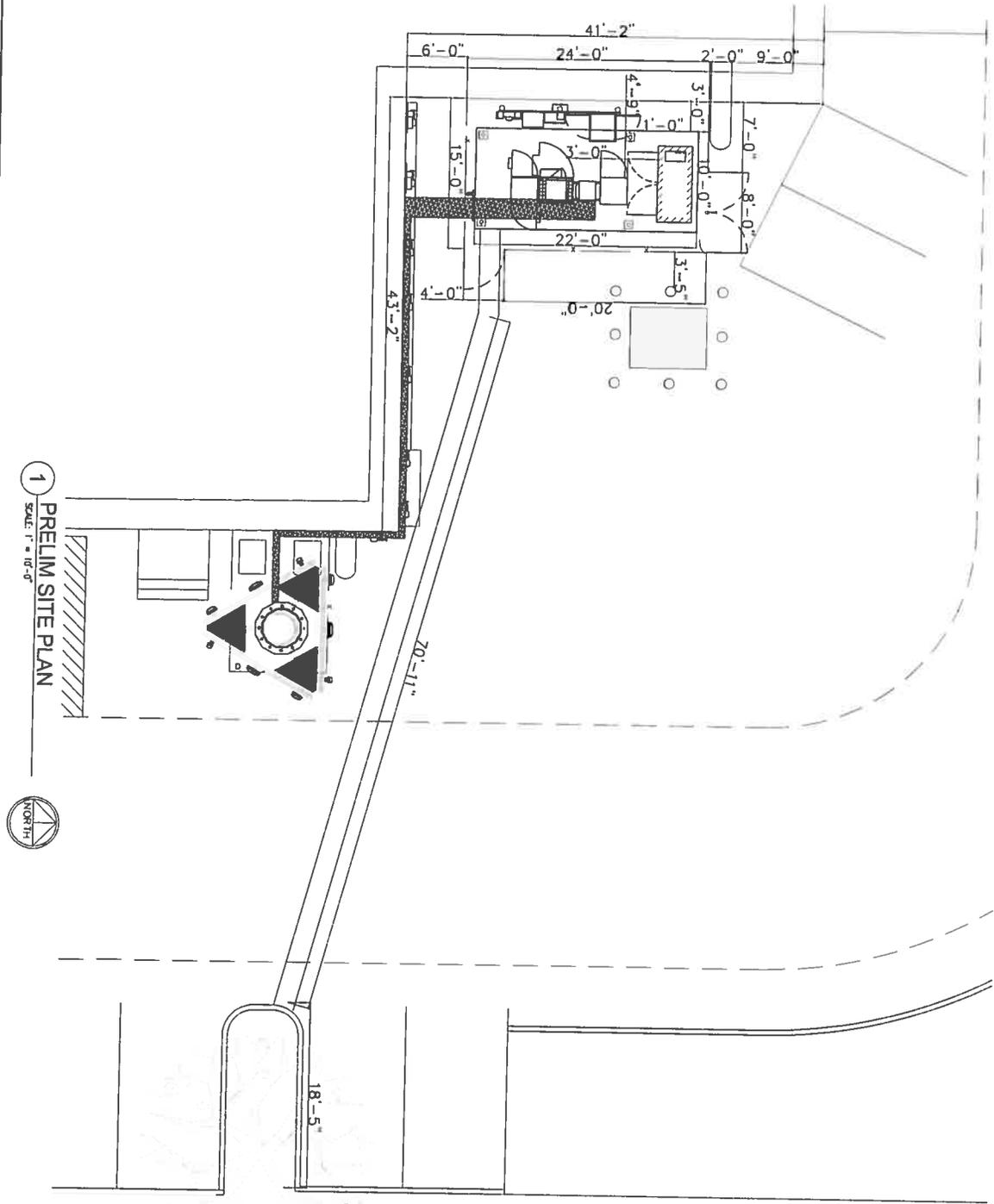
NEW SITE BUILD  
PARK ROW

SITE # 1D 287136  
3251 W PIONEER PARKWAY  
AHLBORN, TEXAS 76013  
TARRANT COUNTY

ALLPRO  
CONSULTING GROUP, INC.  
1011 NORTH GARDNER ROAD  
SUITE 200 DALLAS, TX 75242  
754.446.0000  
754.446.0001  
754.446.0002  
754.446.0003  
754.446.0004  
754.446.0005  
754.446.0006  
754.446.0007  
754.446.0008  
754.446.0009  
754.446.0010

NO.	DATE	REVISION
1	9/17/14	ISSUED FOR REVIEW

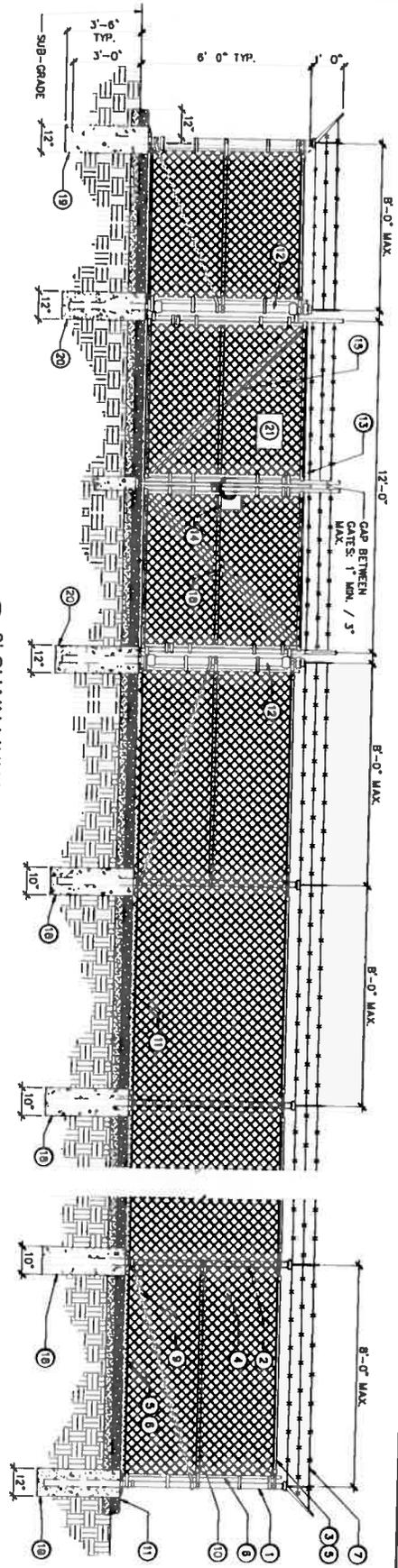
SHEET NAME: ENLARGED SITE PLAN  
SHEET NUMBER: C-2



1 PRELIM SITE PLAN  
SCALE: 1" = 10'-0"



SHEET NAME <b>LEASE EXHIBIT                  SITE PLAN</b>	SHEET NUMBER <b>C-3</b>	 ALLPRO CONSULTING GROUP, INC. 2323 W. PROGRESS #4000 ARLINGTON, TEXAS 76013 TARRANT COUNTY 817-440-9999 1400 W. BECKLEY SCOTT, TEXAS 75087	DATE DRAWN: 8/17/14	 7 VILLAGE CIRCLE SUITE #400 WESTLAKE, TEXAS 76262	NO.      DATE      REVISION
			DRAWN BY: J. VOIDT		APPROVED BY: J. GEORGE



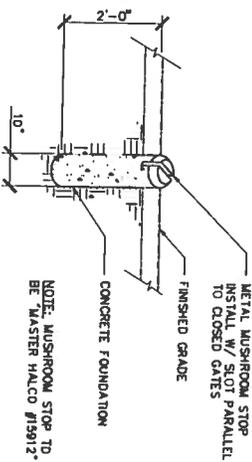
**2** 6' CHAIN LINK FENCE DETAIL  
SCALE : NONE

**REFERENCE NOTES:**

1. CORNER, END OR PULL POST: 3" NOMINAL SCHEDULE 40 PIPE.
2. LINE POST: 2 1/2" SCHEDULE 40 PIPE, PER ASTM F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 8'-0" O.C.
3. TOP RAIL & BRACE RAIL: 1 1/2" PIPE, PER ASTM F1083.
4. FABRIC: 9 GAUGE CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM A392
5. TIE WIRE: UNCOATED 11 GAUGE GALVANIZED STEEL. A SINGLE WRAP OF FABRIC TIE AT POSTS AND RAILS. BT HOG RINGS SPACED MAXIMUM 24" INTERVALS AT TENSION WIRE.
6. TENSION WIRE: 9 GAUGE GALVANIZED STEEL.
7. BARBED WIRE: DOUBLE STRAND 12 GAUGE TWISTED WIRE TO MATCH WITH FABRIC. 14 GAUGE 4 FOOT HOOKS SPACED APPROXIMATELY 5' ON CENTER. 45 DEGREE AND ANGLED OUTWARD.
8. STRETCHER BAR: 3/16" x 3/4" x HEIGHT OF FENCE.
9. 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL TREADER ROD.
10. CORNER POST BRACE: 1 5/8" DIA. EACH CORNER EACH WAY.
11. FINISH GRADE SHALL BE UNIFORM, LEVEL AND EXTEND 12" BEYOND FENCE BOUNDARY.
12. GATE POST: 4" SCHEDULE 40 PIPE. FOR GATE WIDTHS UP THRU 10 FEET OR 20 FEET FOR DOUBLE SWING GATE, PER ASTM F1083.
13. GATE FRAME: 1 1/2" PIPE, PER ASTM F1083.
14. 4" x 6" HANDHOLD WITH 3/4" CHAIN AND LOCKS, WELD CHAIN TO THE GATE LEAF WITHOUT THE HANDHOLD.
15. GATE DIAGONAL: GALVANIZED STEEL 1 1/2" PIPE.
16. GATE FRAME BRACE: 1 5/8" DIAMETER.
17. NOT USED
18. LINE POST CONCRETE FOUNDATION (2000 PSI).
19. CORNER POST CONCRETE FOUNDATION (2000 PSI).
20. GATE POST CONCRETE FOUNDATION (2000 PSI).
21. SIGNAGE PROVIDED BY OWNER.

**GENERAL NOTES:**

1. INSTALL FENCING PER ASTM F587.
2. INSTALL SWING GATES PER ASTM F800.
3. COMPLY WITH LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT, IF REQUIRED.
4. POST & GATE PIPE SHEETS ARE INDUSTRY STANDARDS. ALL PIPE TO BE 1-1/4" NOMINAL SCHEDULE 40 GALVANIZED MINIMUM (HOT DR. ASTM F1083 SHALL BE COATED WITH (3) COATS OF COLD GALVANIZING (OR EQUIV.)).
5. ALL OPEN POSTS SHALL HAVE END-CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.



**1** MUSHROOM GATE STOP  
SCALE: NONE

<p>7 W. W. BLAKE, TX 75001</p>		<p>DATE DRAWN: 01/14/14</p> <p>DRAWN BY: J VOIT</p> <p>APPROVED BY: J DEDRGE</p>
<p><b>NEW SITE BUILD</b> <b>PARK ROW</b></p> <p>SITE # ID 287136 3253 W. PIONEER PARKWAY AUSTIN, TEXAS 78713 TRAVIS COUNTY</p>		<p><b>ALLPRO</b> CONCRETE TIE RODS INC. 10371 VANDER KAMM AVENUE P.O. BOX 67023 DALLAS, TEXAS 75267 PHONE: 972-333-1888 FAX: 972-333-1889 WWW.ALLPROCONCRETE.COM FORM NO: 0001-12/2013</p>
<p>SHEET NAME <b>FENCE DETAILS</b></p> <p>SHEET NUMBER <b>C-8</b></p>		<p>NOTE: MUSHROOM STOP TO BE INSTALLED PARALLEL TO CLOSED GATES</p> <p>FINISHED GRADE</p> <p>CONCRETE FOUNDATION</p> <p>NOTE: MUSHROOM STOP TO BE "MASTER WALL" #15912"</p>

### Town of Pantego-Parcels



DigitalGlobe, GeoEye, Microsoft | Esri, HERE

## NOTIFICATION LIST- VERIZON Z-207

OWNER_NAME	OWNER_ADDR	OWNER_CITY	SITE_ADDR	CITY
ONCOR ELECTRIC DELIVERY CO LLC	PO BOX 219071	DALLAS TX 75221	2251 SPANISH TR	ARLINGTON
DAM TEXAS PROPERTIES LLC	3 COLTON CT	REDWOOD CITY CA 94062	3200 W PIONEER PKWY	DALWORTHINGTON GARDENS
WELDON J PHILLIP	3428 W PIONEER PKWY	ARLINGTON TX 76013	3428 W PIONEER PKWY	PANTEGO
ARLINGTON INDEPENDENT SCHOOL D	1203 W PIONEER PKWY	ARLINGTON TX 76013	3210 W PIONEER PKWY	DALWORTHINGTON GARDENS
DFW MIDSTREAM SERVICES LLC	2300 WINDY RIDGE PKWY S # 240	ATLANTA GA 30339	3400 W PIONEER PKWY	PANTEGO
STAGLIANO V J	7632 WESTWIND DR	FORT WORTH TX 76179	3201 W PIONEER PKWY	PANTEGO
RIDINGS CHARLES JR	3101 W PIONEER PKWY	PANTEGO TX 76013	3101 W PIONEER PKWY	PANTEGO
G W ROBB LTD	315 CARLIN RD	MANSFIELD TX 76063	3401 W PIONEER PKWY	PANTEGO
PANTEGO CITY OF	1614 S BOWEN RD	PANTEGO TX 76013	3206 SMITH BARRY RD	PANTEGO
PANTEGO ECONOMIC DEV CORP	1614 S BOWEN RD	ARLINGTON TX 76013	3301 W PIONEER PKWY	PANTEGO
PANTEGO CAMP THURMAN INC	3001 SARAH DR	PANTEGO TX 76013	3001 SARAH DR	PANTEGO
JOSEPH E BRIGGS & ASSOC INC	2909 HARDER DR	ARLINGTON TX 76016	3103 W PIONEER PKWY	PANTEGO



# AGENDA BACKGROUND

**AGENDA ITEM:** Public Hearing, discuss, direct, and consider action on Ordinance 15-758 an ordinance of the Town of Council of the Town of Pantego, Texas, for Zoning Case Z-208, a proposed Special Use Permit renewal as requested by ASE ICE to continue use of a self service ice dispensing building at 1555 S. Bowen Road, Tracts 1A1A, 1A1B and 1A5A of the William J. Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Westwood Village Shopping Center on the Southeast corner of S. Bowen Road and W. Park Row Drive.

**Date:** May 11, 2015

**PRESENTER:**

Chad Joyce, Community Development Director

**BACKGROUND:**

See Community Development Staff Report.

The Notice of Public Hearing was published on April 24, 2015 in the Fort Worth Commercial Recorder, the Town's official newspaper. This Notice was also posted on the Town's bulletin board and the Town's website. Owners of property within two hundred (200) feet of the applicant property were given notice via U.S. Mail.

**FISCAL IMPACT:**

N/A

**RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following condition:

- Expiration in June of 2026 or upon change of ownership.

**ATTACHMENTS:**

Proposed Ordinance No. 15-758  
 Community Development Staff Report  
 Planning and Zoning Chairman Report  
 Ordinance 11-647  
 Application, Zoning Case Z-208  
 Notification Map  
 Notification Address List

Director's Review: \_\_\_\_\_  
 City Manager's Review: \_\_\_\_\_

**ORDINANCE NO. 15-758**

**AN ORDINANCE OF THE TOWN OF PANTEGO AUTHORIZING THE RENEWAL OF A SPECIAL USE PERMIT ISSUED TO ASE ICE TO CONTINUE USE OF A SELF SERVICE ICE DISPENSING BUILDING LOCATED AT 1555 S BOWEN ROAD, TRACTS 1A1A, 1A1B, AND 1A5A OF THE WILLIAM J BARRY SURVEY, PANTEGO, TARRANT COUNTY TEXAS; AND DECLARING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Pantego, Texas is a Type A General Law Municipality located in Tarrant County, Texas, created in accordance with provisions of Chapter 6 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Chapter 14, Section 14.02.513(5) of the Town of Pantego Municipal Code allows for an exception of any public or government building or use not elsewhere permitted in a particular district; and

**WHEREAS**, the Planning & Zoning Commission as required by Chapter 211 of the Texas Local Government Code has duly published a Notice of Public Hearing in the Fort Worth Commercial Recorder, the official newspaper for the Town of Pantego, on April 24, 2015; and

**WHEREAS**, the Planning and Zoning Commission has received and reviewed the application from Matthew Arno and has determined that it complies with all requirements for the Special Use Permit; and

**WHEREAS**, the Commissioners recommended approval of this application at their regularly scheduled meeting on May 4, 2015; and

**WHEREAS**, the Town Council by affirmative vote of four of its members may by ordinance authorize special use permits; and

**WHEREAS**, presentation of this ordinance at a meeting preceding the meeting at which the ordinance is enacted places an undue burden in administrative time and expense to the Town, and as reflected by the vote of two-thirds of the Councilmember's present, the requirements of Section 1.03.035(b) are hereby waived.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS THAT:**

**SECTION 1:**

The Town Council authorizes the Special Use Permit for the use of a self service ice dispensing building located at:

Tracts 1A1A, 1A1B, and 1A5A of the William J Barry Survey in Pantego, Tarrant County, Texas  
1555 S Bowen Road, Pantego, Texas

as requested by Matthew Arno.

**SECTION 2:**

This Special Use Permit shall expire on June 27, 2026.

**SECTION 3:  
PROVISIONS CUMULATIVE**

This ordinance shall be cumulative of all provisions of the ordinances of the Town of Pantego, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such Ordinances, in which event the conflicting provisions of such Ordinances are hereby repealed.

**SECTION 4:  
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law, and it is so ordained.

**PASSED AND APPROVED AFTER WAIVER OF THE REQUIREMENTS OF TOWN CODE SECTION 1.03.035(b) THIS THE 11<sup>th</sup> DAY OF MAY 2015 BY A VOTE OF \_\_ AYES, \_\_ NAYS, AND \_\_ ABSTENTIONS, AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS.**

\_\_\_\_\_  
**Melody Paradise, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Julie Arrington, City Secretary**

**APPROVE AS TO FORM:**

\_\_\_\_\_  
**Jim Jeffrey, City Attorney**



## COMMUNITY DEVELOPMENT STAFF REPORT

<b>MEETING DATE:</b>	May 11, 2015
<b>ACTION REQUESTED:</b>	Consider approval for a renewal of a Special Use Permit to continue use of a self service ice dispensing building.
<b>PROPERTY DESCRIPTION:</b>	1555 S. Bowen Road, Tracts 1A1A, 1A1B and 1A5A of the William J. Barry Survey, Pantego, Tarrant County, Texas.
<b>PROPERTY OWNER:</b>	Matthew Arno
<b>APPLICANT:</b>	ASE Ice
<b>CURRENT ZONING:</b>	Special Use Permit in C-3 Commercial District
<b>SURROUNDING ZONING/LAND USE:</b>	This use is surrounded by C-3 Commercial District uses including a shopping center and restaurants.
<b>REQUESTED VARIANCES:</b>	N/A
<b>ANALYSIS:</b>	A Special Use Permit was approved for this use in June 2011 for a period of five years. Mr. Arno is requesting an extension of the Special Use Permit for another ten years (expiring in June 2026). Staff is unaware of any complaints about this use and the use appears to integrate with the surrounding uses.
<b>ANALYSIS FROM P&amp;Z MEETING</b>	Matthew Arno was at the meeting as the owner of ASE ICE and applicant. Commissioners had very few questions and agreed that the use has been well received and should continue. The ten year extension request was agreed upon as well.
<b>SPECIAL USE PERMIT CONSIDERATIONS:</b>	<p>The Town of Pantego Zoning Ordinance states the following considerations that the Planning and Zoning Commission and Town Council should consider prior to approval of a special use permit:</p> <ol style="list-style-type: none"> <li>(1) The proposed use complies with all the requirements of the zoning district in which the special use permit is located;</li> <li>(2) The proposed use as located and configured will contribute to or promote the general welfare and convenience of the Town;</li> <li>(3) The benefits that the town gains from the proposed use outweigh the loss of or damage to any homes, businesses, natural resources, agricultural lands, historical or cultural landmarks or sites, wildlife habitats, parks, or natural, scenic, or historical features of significance, and outweigh the personal and economic cost of any disruption to the lives, business and property of individuals affected by the proposed use;</li> </ol>

- (4) Adequate utilities, road access, drainage and other necessary supporting facilities have been or shall be provided;
- (5) The design, location and arrangement of all public and private streets, driveways, parking spaces, entrances and exits shall provide for a safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
- (6) The issuance of the special use permit does not impede the normal and orderly development and improvement of neighboring vacant property;
- (7) The location, nature and height of buildings, structures, walls and fences are not out of scale with the neighborhood;
- (8) The proposed use will be compatible with and not injurious to the use and enjoyment of neighboring property, nor significantly diminish or impair property values within the vicinity;
- (9) Adequate nuisance prevention measures have been or shall be taken to prevent or control offensive odors, fumes, dust, noise, vibration and visual blight;
- (10) Sufficient on-site lighting is provided for adequate safety of patrons, employees and property and such lighting is adequately shielded or directed so as not to disturb or adversely affect neighboring properties;
- (11) There is sufficient landscaping and screening to ensure harmony and compatibility with adjacent properties;
- (12) The proposed operation is consistent with the applicant's submitted plans, master plans, projections, or where inconsistencies exist, the benefits to the community outweigh the costs;
- (13) The proposed use is in accordance with the Town's comprehensive plan.

**RECOMMENDED  
ACTIONS:**

The Town Council has the following options when considering a Special Use Permit application:

- Approval as submitted;
- Approval with conditions;
- Table to specific date with clarification of intent and purpose; or
- Denial of application.

**STAFF**

**RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following condition:

- Expiration in June of 2026 or upon change of ownership.

**REPORT ON PLANNING AND ZONING COMMISSION MEETING**  
**May 5, 2015**

**1. Zoning Case Z-207 – Verizon Wireless cellular tower**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Kathy Zibilich Verizon came and spoke in favor of this SUP. She indicated that they would be adding equipment on the tower as well as a new generator on the surface. The new generator would only be needed in case of an emergency. It would be enclosed in a 6 foot chain link fence.

Discussion: The commissioner's asked questions concerning safety, noise, and fence height. No commissioner had any concerns about the answers to any questions.

**2. Zoning Case Z-208 – ACE Ice House – SUP Renewal**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Matt Armo spoke in favor of this SUP. He is the owner and operator of the ICE house.

Discussion: The commissioner's did not have any concern about the SUP and it was quickly approved.

**3. Zoning Case Z-209 – Linda Simic establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Linda Simic spoke in favor of this SUP. Mr. Randy Bell and Ms. Barbara Brown also spoke in favor of this SUP. Ms Simic indicated that she would be running an adult lounge type establishment that expected mid 30 to mid 60's customers. There would be more alcohol than food sales. Hours would be 11:00am – 2:00am, 7 days a week. The establishment would have live music, open mic, a ping pong table, and smoking. Nobody came and spoke in opposition to this SUP.

Discussion: The commissioner's asked questions concerning safety, noise, light, proximity to the adjacent dance studio and adjoining Jr. High School. Although no one came to speak against this SUP, concerns about the impact to the adjacent neighborhood were discussed. We approved this SUP as presented, but Commission Kushma did request that we consider a 1 year limit on the SUP. The concern being that the Ms. Simic signed a 5 year lease, so the SUP would be in effect until change in ownership. The time limit was not included in the SUP as approved, but something for council to consider in their discussions of this SUP.

#### **4. Zoning Case Z-210 – Linda Simic SUP to sell alcohol**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and closed with nobody speaking for or against this SUP.

Discussion: The commissioner's did not have any concern about the SUP as the questions and concerns were raised with SUP case Z-209.

#### **5. Zoning Case Z-211 – Nicole Myers – establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Pat Myers came and spoke in favor of this SUP. He indicated that they would be adding additional space to the existing Dr. Jeckyll's Beer lab. They would be serving food, and alcohol in addition to the existing homebrew ingredients that they sell. Mr. Myers expected more food sales than liquor sales. The hours of operation would be early hours, they would close at midnight. Some nights earlier depending on business.

Discussion: The commissioner's asked questions concerning safety, noise, and the location near the existing snow cone establishment. No commissioner had any concerns about the answers to any questions.

Any questions or concerns about this summary, please feel free to contact me at any time.

Stephen Smith  
Chairman

## ORDINANCE NO. 11-647

AN ORDINANCE OF THE TOWN OF PANTEGO AUTHORIZING A SPECIAL USE PERMIT, ISSUED TO ASE ICE, TO ESTABLISH A SELF SERVICE ICE DISPENSING BUILDING ON THE WESTWOOD VILLAGE SHOPPING CENTER PROPERTY IN THE 1500 BLOCK OF SOUTH BOWEN ROAD, ABSTRACT 155, TRACTS 1A1A, 1A1B, AND 1A5A OF THE WILLIAM J BARRY SURVEY, PANTEGO, TARRANT COUNTY TEXAS; AND DECLARING AN EFFECTIVE DATE. Z-154

- WHEREAS:** Chapter 14, Section 14.02.513(7) of the Town of Pantego Municipal Code allows for an exception for any public or government building or use not elsewhere permitted in a particular district; and
- WHEREAS:** the Planning and Zoning Commission as required by Chapter 211 of the Texas Local Government Code has duly published a Notice of Public Hearing in the Fort Worth Commercial Recorder, the official newspaper for the Town of Pantego on May 23, 2011; and
- WHEREAS:** the Commissioners unanimously approved this application at their regularly scheduled meeting on June 6, 2011.
- WHEREAS:** the Planning and Zoning Commission has received and reviewed the application from ASE ICE and has determined that it complies with all requirements for the Special Use Permit.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO THAT:**

**Section 1.** the Town Council authorizes the Special Use Permit for ASE ICE for the use of a self service ice dispensing building located at:

Abstract 155, Tracts 1A1A, 1A1B and 1A5A of the William J Barry Survey  
1500 Block of South Bowen Road, Pantego, Texas

as requested by ASE ICE.

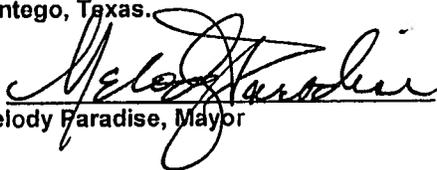
**Section 2.** this Special Use Permit is approved with the following stipulations:

1. The building be constructed to match the materials and appearance of the attached elevations.
2. The area surrounding the building be provided with irrigated landscaping approved by the Town, and that said landscaping be maintained and alive for the duration of the use.
3. The property owner properly plats the entire shopping center property within one (1) year of the effective date.

**Section 3.** this Special Use Permit shall expire in five years or upon change of ownership.

**Section 4.** this ordinance shall take effect immediately upon its passage.

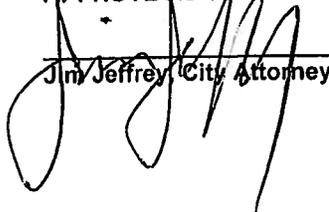
**PRESENTED AND PASSED** on First and Final Reading this the 27th day of June 2011, by a vote of 5 ayes, 0 nays, and 0 abstentions, at a regular meeting of the Town Council of the Town of Pantego, Texas.

  
Melody Paradise, Mayor

ATTEST:

  
Lindsay Wells, City Secretary

APPROVE AS TO FORM:

  
Jim Jeffrey, City Attorney





Town of Pantego  
1614 S. Bowen Rd., Pantego, TX 76013  
(817)274-1381 or (817)265-1375 Fax

### APPLICATION FOR A SPECIAL USE PERMIT

#### APPLICANT

If applicant is NOT owner of property, Agent Authorization Form must be completed.

Name: ASE Ice (Matthew Arno) Date: 3/19/15

Address: 835 E. Lamar Blvd Suite 286

Street Address

Arlington, TX 76011

City

State

Zip

Phone: 817-995-6762 Email: marno@alum.mit.edu

Applicant Status:  Owner  Tenant  Purchaser  Other

#### PROPERTY DEVELOPMENT INFORMATION

Address: 1555 S. Bowen

Legal Description:

Property is subdivided: Addition: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_

Property is not subdivided: Survey: William J. Barry

Abstract#: 155 Tract: 1A1A, 1A1B, 1A5A

Existing Classification: \_\_\_\_\_

Developer: _____	Agent: <u>Matthew Arno</u>
Address: _____	Address: <u>835 E. Lamar Blvd Suite 286</u>
City/State/Zip: _____	City/State/Zip: <u>Arlington, TX 76011</u>
Phone/Fax: _____	Phone/Fax: <u>817-995-6762</u>
Surveyor: _____	Engineer: _____
Address: _____	Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone/Fax: _____	Phone/Fax: _____

Present use of the property: retail sales

Proposed use of the property: retail sales

Status of development plans:  None  Site Plans Complete  Building Plans Complete



ACKNOWLEDGMENTS

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Planning and Zoning Commission hearing thereon. I understand that if any of the above information is found to be wrong or inaccurate that my application may be removed from consideration prior to the time the application is voted upon by the governing body of the Town. I further acknowledge that attesting to inaccurate or false information on this zoning application can result in conviction of a misdemeanor and fine not to exceed \$2,000.

I understand that in the event the undersigned is not present or represented at the public hearing the Planning and Zoning Commission shall have the power to dismiss this proposal either at the call of the case or after hearing, and such dismissal shall constitute a denial by both the Planning and Zoning Commission and the Town Council.

I reserve the right to withdraw this proposal at any time, except during notice periods, upon written request filed with the Town Secretary, and such withdrawal shall immediately stop all proceedings thereon; provided, however, withdrawal filed at any time after the giving of notice of the Planning and Zoning Commission hearing shall constitute a denial by the Commission and the Town Council. I understand that the filing fee is not refundable upon withdrawal of the proposal.

Applicant: [Signature] Date: 3/19/15

State of Texas )  
County of Tarrant

Sworn and subscribed before me the undersigned notary public this the 19<sup>th</sup> day of March 20 15.

[Signature]  
Notary Public



Commission Expires: 02/29/16  
Seal:

OFFICE USE ONLY

Application Checklist:

- Complete application form
- Agent Authorization Form (if necessary)
- Application Fee
- Site Plan
- Additional Submittals Information

Application accepted by: Sheila Sherman Date: 3-19-2015

Checked for completeness: ✓ Fee Paid: ✓ Receipt No.: 63101

Remarks: \_\_\_\_\_

Set for P&Z: May 4<sup>th</sup> Set for Council: May 11<sup>th</sup>



## ADDITIONAL SUBMITTAL INFORMATION

- Any final environmental assessment and/or final environmental impact statement that may be required pursuant to state or federal statutes
- Copies of studies or analyses upon which have been based projections for need or demand for the proposed facility
- Copies of studies or analysis upon which alternatives have been considered and evaluated
- Description of present use, assessed value & actual value of the land affected by the proposed facility
- Description of the proposed use, anticipated assessed value and supporting documentation
- Description of any long term plans or master plan for the future use or development of the property
- Description of the applicant's ability to obtain needed easements to serve the proposed use
- Description of the type, feasibility and cost of any proposed mitigation necessary to make the proposed use compatible with current and future land use patterns
- Description of any special construction requirements that may be necessary for any construction or development on the subject property
- If the proposed use will result in a significant increase in traffic, a traffic impact analysis prepared by a certified professional engineer qualified in the field of traffic engineering and forecasting
- A noise management plan detailing the projected noise produced by the proposed use, including, but not limited to, the projected noise volume and duration, and the noise mitigation measures proposed to be implemented

**Arno Scientific & Engineering**

dba ASE Ice  
835 E Lamar Blvd # 286  
Arlington, TX 76011  
817-995-6762



March 20, 2015

Chad Joyce  
Community Development Coordinator  
Town of Pantego  
1614 S. Bowen Rd  
Pantego, TX 76013

Re: ASE ICE Special Use Permit Renewal

Dear Mr. Joyce,

Attached is our renewal application for our Special Use Permit (SUP) currently authorized under Town of Pantego Ordinance No. 11-647. We would like to request a 10-year extension of the SUP to match the term of our current lease. i.e. an expiration date of July 27, 2026. This SUP authorized a self-service ice dispensing machine at 1555 S Bowen Rd. Photo 1 below shows the view of the machine as seen approaching it from the east on Park Lane Blvd. It is the small building with the blue awnings.

As requested on the Town of Pantego's Application for a Special Use Permit, please find below our response with respect to the additional submittals required in the application packet. Many of the additional submittals are not applicable but we have provided statement of that along with justification as necessary.

- *Any final environmental assessment and/or final environmental impact statement that may be required pursuant to state and federal statutes.*

No final environmental assessment and/or final environmental impact statement is required pursuant to any state and federal statutes. The structure is already in place.

- *Copies of studies or analyses upon which have been based projections for need or demand for the proposed facility.*

This is a small vending business that benefits the surrounding community based on the convenience and ease of purchasing ice which some families and companies do on a daily basis. Housing density and traffic counts in the vicinity of the proposed location were used to evaluate the subject location with regard to need and demand for ice. The business has operated profitably for the last 4 years.



**Photo 1. Twice the Ice ice house. View taken from Google Earth.**

- *Copies of studies or analysis upon which alternatives have been considered and evaluated.*

No alternatives have been considered.

- *Description of present use, assessed value, and actual value of the land affected by the proposed facility.*

The present use of the property is that it is a retail strip center with a large parking lot. The assessed value and actual value of the land affected are unknown to our company but are not expected to be significantly altered by this proposed use.

- *Description of the proposed use, anticipated assessed value, and supporting documentation.*

The proposed use is for a facility at the “The Towers” Shopping Center. The structure is approximately eight feet by twenty four feet. The structure contains equipment for the production and storage of ice. The structure is completely self-contained. Customers put money into the machine and ice is delivered to the customer in a bag or loose through a chute that directs ice into a container that the customer provides. The facility is operational 24 hours a day. The typical customers are individuals as well as small business owners, such as landscapers, construction crews, restaurants, and caterers.

- *Description of any long term plans or master plan for the future use or development of the property.*

The details of the long term plan are not known but are expected to remain as a shopping center.

- *Description of the applicant's ability to obtain needed easements to serve the proposed use.*

No additional easements are required.

- *Description of the type, feasibility and cost of any proposed mitigation necessary to make the proposed use compatible with current and future land use patterns.*

No proposed mitigation would be necessary to make the proposed use compatible with current and expected future land patterns.

- *Description of any special construction requirements that may be necessary for any construction or development on the subject property.*

No special construction or development is needed. The structure has already been built and is an operating business.

- *If the proposed use will result in a significant increase in traffic, a traffic impact analysis prepared by a certified professional engineer qualified in the field of traffic engineering and forecasting.*

There will not be a significant increase in traffic for the shopping center. A large number of the expected customers will be those who already use the center and surrounding businesses or pass by on Bowen or Park Row.

- *A noise management plan detailing the projected noise produced by the proposed use, including, but not limited to, the projected noise volume and duration, and the noise mitigation measured proposed to be implemented.*

The noise is minimal. It is similar to an air conditioning unit. The unit is mounted on the top of the ice house structure. Our experience in having installed over 50 units in the DFW area have shown that the minimal noise when the ice maker is running would not require a noise management plan.

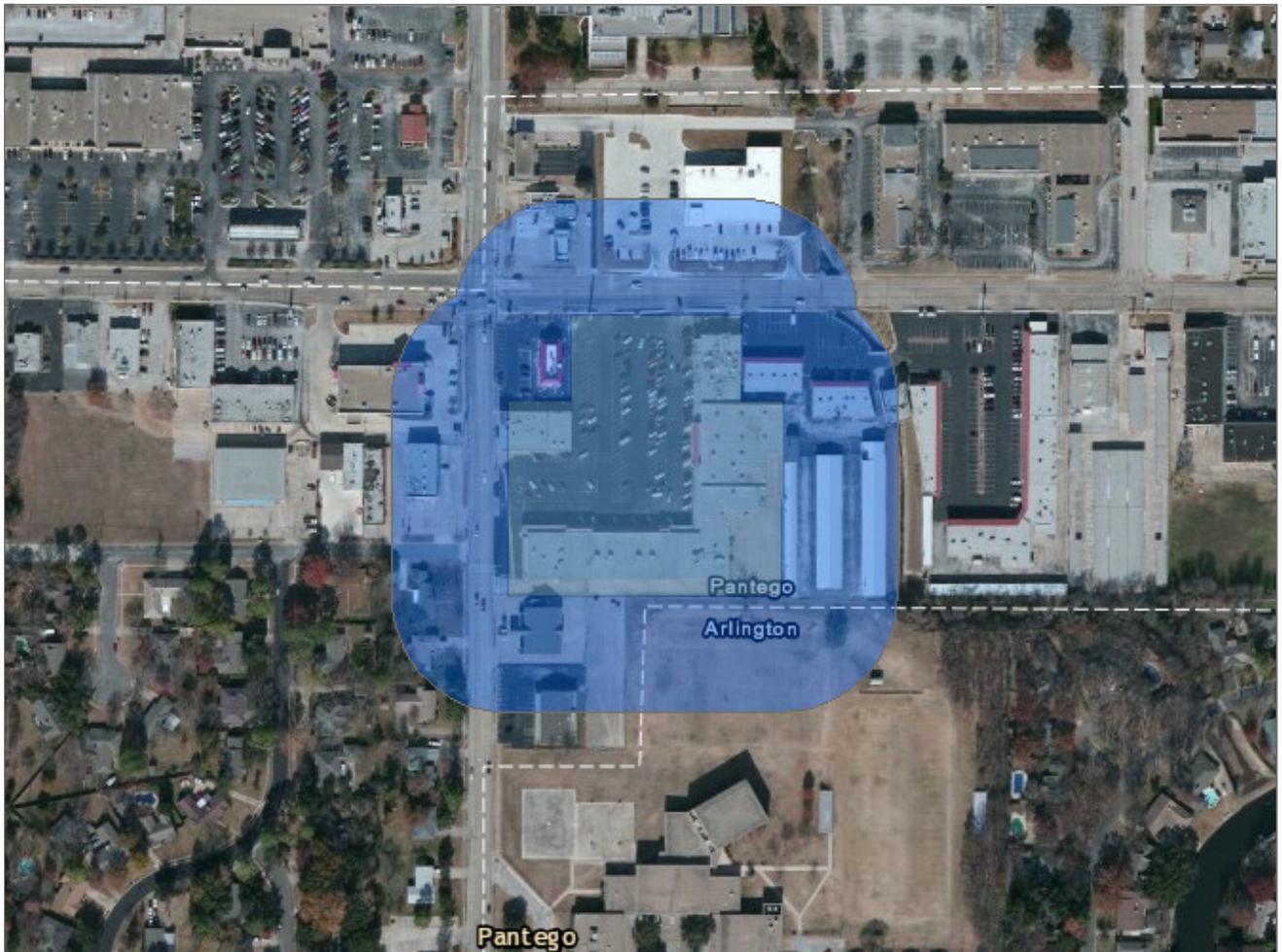
If you have any additional questions or need more information, please feel free to contact me at 817-995-6762 or [marno@alum.mit.edu](mailto:marno@alum.mit.edu).

Sincerely,



Matthew Arno, PhD, PE

### Town of Pantego-Parcels



DigitalGlobe, GeoEye, Microsoft | Esri, HERE

## NOTIFICATION LIST- ASE ICE SUP

NOTIFICATION ADDRESS	OWNER NAME	OWNER ADDRESS	OWNER CITY
1517 S BOWEN RD	4D-JKL CORPORATION	3100 W ARKANSAS LN STE 103	ARLINGTON TX 76016-5871
2304 W PARK ROW DR	FARRELL PROPERTY CO LTD	2304 W PARK ROW DR STE 7	PANTEGO TX 76013-3347
1602 S BOWEN RD	LINDSEY JOHN J	26194 S 530 RD	PARK HILL OK 74451-2883
2500 W PARK ROW DR	NATIONAL RETAIL PROPERTIES INC	1 CVS DR	WOONSOCKET RI 02895-6146
1604 S BOWEN RD	HARDIN CLYDE EST	1604 S BOWEN RD	PANTEGO TX 76013-3336
1600 S BOWEN RD	STANGENWALD JESSICA LYNN	1205 SPRINGWOOD CT	EULESS TX 76040-5959
2424 W PARK ROW DR	FROEHLICH JAMES E	PO BOX 80906	BAKERSFIELD CA 93380-0906
2411 WINEWOOD LN	ARLINGTON INDEPENDENT SCHOOL D	1203 W PIONEER PKWY	ARLINGTON TX 76013
1607 S BOWEN RD	COLONIAL SAVINGS FA	PO BOX 2988	FORT WORTH TX 76113-2988
1605 S BOWEN RD	COLONIAL SAVINGS & LOAN ASSN	PO BOX 2990	FORT WORTH TX 76113-2990
1607 S BOWEN RD	WESTOVER GRANBURY LP	301 COMMERCE ST STE 2040	FORT WORTH TX 76102-4120
1401 S BOWEN RD	JPMORGAN CHASE BANK NA	131 S DEARBORN FL 5 ST	CHICAGO IL 60603-5571
2417 W PARK ROW DR	ALDI TEXAS LLC	2500 WESTCOURT RD	DENTON TX 76207-4532
2401 W PARK ROW DR	MERCANTILE BANK	2401 W PARK ROW DR	PANTEGO TX 76013-3392
2427 W PARK ROW DR	QUIK-WAY RETAIL ASSOC II LTD	8350 N CENTRAL EXPWY STE M1015	DALLAS TX 75206-1617
2504 W PARK ROW DR	NEW JBK CORP	7 HEATHROW CT	ARLINGTON TX 76016-4000
1508 S BOWEN RD	KIU PETER LAM K	1508 S BOWEN RD STE B	PANTEGO TX 76013-3334
2505 MILLER LN	NEWPORT INVESTMENTS LLC	2005 CALLENDER HILL RD	MANSFIELD TX 76063-6098



# AGENDA BACKGROUND

**AGENDA ITEM:** Public Hearing, discuss, direct, and consider action on Ordinance 15-759 an ordinance of the Town Council for the Town of Pantego, Texas, for Zoning Case Z-209, a proposed Special Use Permit as requested by Linda Simic to establish an alcoholic beverage establishment at 2304 W. Park Row Drive #25, Tract 1A3. 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Lakewood Shopping Center on the south side of the West Park Row Drive between South Bowen Road and Milby Road.

**Date:** May 11, 2015

**PRESENTER:**

Chad Joyce, Community Development Director

**BACKGROUND:**

See Community Development Staff Report.

The Notice of Public Hearing was published on April 24, 2015 in the Fort Worth Commercial Recorder, the Town's official newspaper. This Notice was also posted on the Town's bulletin board and the Town's website. Owners of property within two hundred (200) feet of the applicant property were given notice via U.S. Mail.

**FISCAL IMPACT:**

N/A

**RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following conditions:

- The patio shall close at 10:00 p.m.; and
- Expiration in five years or change of ownership.

**ATTACHMENTS:**

Proposed Ordinance No. 15-759  
 Community Development Staff Report  
 Planning and Zoning Chairman Report  
 Application, Zoning Case Z-209  
 Notification Map  
 Notification Address List

Director's Review: \_\_\_\_\_  
 City Manager's Review: \_\_\_\_\_

**ORDINANCE NO. 15-759**

**AN ORDINANCE OF THE TOWN OF PANTEGO AUTHORIZING A SPECIAL USE PERMIT ISSUED TO LINDA SIMIC TO ESTABLISH AN ALCOHOLIC BEVERAGE ESTABLISHMENT LOCATED AT 2304 W PARK ROW DRIVE, SUITE 25, TRACTS 1A3, 1A3A, 1A3B, 1A5, 1A5B, AND 1A5C OF THE WILLIAM J BARRY SURVEY, PANTEGO, TARRANT COUNTY, TEXAS; AND DECLARING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Pantego, Texas is a Type A General Law Municipality located in Tarrant County, Texas, created in accordance with provisions of Chapter 6 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Chapter 14, Section 14.02.513(5) of the Town of Pantego Municipal Code allows for an exception for any public or government building or use not elsewhere permitted in a particular district; and

**WHEREAS**, the Planning & Zoning Commission as required by Chapter 211 of the Texas Local Government Code has duly published a Notice of Public Hearing in the Fort Worth Commercial Recorder, the official newspaper for the Town of Pantego, on April 24, 2015; and

**WHEREAS**, the Planning and Zoning Commission has received and reviewed the application from Linda Simic and has determined that it complies with all requirements for the Special Use Permit; and

**WHEREAS**, the Commissioners recommended approval of this application at their regularly scheduled meeting on May 4, 2015; and

**WHEREAS**, the Town Council by affirmative vote of four of its members may by ordinance authorize special use permits; and

**WHEREAS**, presentation of this ordinance at a meeting preceding the meeting at which the ordinance is enacted places an undue burden in administrative time and expense to the Town, and as reflected by the vote of two-thirds of the Councilmember's present, the requirements of Section 1.03.035(b) are hereby waived.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS THAT:**

**SECTION 1:**

The Town Council authorizes a Special Use Permit for the use of an alcoholic beverage establishment located at:

Tracts 1A3, 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey in Pantego, Tarrant County, Texas  
2304 W Park Row Drive, Suite 25, Pantego, Texas

as requested by Linda Simic.

**SECTION 2:**

This Special Use Permit shall expire five years from the effective date of this ordinance.

**SECTION 3:  
PROVISIONS CUMULATIVE**

This ordinance shall be cumulative of all provisions of the ordinances of the Town of Pantego, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such Ordinances, in which event the conflicting provisions of such Ordinances are hereby repealed.

**SECTION 4:  
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law, and it is so ordained.

**PASSED AND APPROVED AFTER WAIVER OF THE REQUIREMENTS OF TOWN CODE SECTION 1.03.035(b) THIS THE 11<sup>th</sup> DAY OF MAY 2015 BY A VOTE OF \_\_ AYES, \_\_ NAYS, AND \_\_ ABSTENTIONS, AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS.**

\_\_\_\_\_  
**Melody Paradise, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Julie Arrington, City Secretary**

**APPROVE AS TO FORM:**

\_\_\_\_\_  
**Jim Jeffrey, City Attorney**



## COMMUNITY DEVELOPMENT STAFF REPORT

<b>MEETING DATE:</b>	May 11, 2015
<b>ACTION REQUESTED:</b>	Consider approval for a Special Use Permit to establish an alcoholic beverage establishment.
<b>PROPERTY DESCRIPTION:</b>	2304 W. Park Row Drive #25, Tract 1A3. 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas.
<b>PROPERTY OWNER:</b>	Farrell Property Co. Ltd.
<b>APPLICANT:</b>	Linda Simic
<b>CURRENT ZONING:</b>	C-3 Commercial District
<b>SURROUNDING ZONING/LAND USE:</b>	North – C-2 Commercial District – Westbury Square East – C-3 Commercial District – mini warehouse use South – Arlington – residential and junior high school West – C-3 Commercial District – shopping centers
<b>REQUESTED VARIANCES:</b>	A variance from the 300 foot buffer distance from a public school would be required.
<b>ANALYSIS:</b>	Linda Simic is requesting to establish an alcoholic beverage establishment. The use would be established in Lakewood Shopping Center in a suite that has previously sold alcoholic beverages as a restaurant. Ms. Simic has informed staff that she presently has a business in Arlington that she would like to move to Pantego. The business does serve food, but will most likely not meet the requirements of 51% food sales to be considered a restaurant by the Town's zoning code. Ms. Simic has described the business as a lounge that will feature a bar, darts, pool tables, live music and an outdoor seating area.
<b>ANALYSIS FROM P&amp;Z MEETING:</b>	Linda Simic was in attendance as the owner and applicant. There was significant discussion of the proposed use and its affect on the dance studio next door, Bailey Junior High and adjacent Arlington residences. Possible noise and lighting issues from the patio, especially in late hours, was a concern of commissioners. Commissioners discussed time limits of one year, five years (the lease term) or change of ownership, but did not forward a recommendation of those three options.
<b>SPECIAL USE PERMIT CONSIDERATIONS:</b>	The Town of Pantego Zoning Ordinance states the following considerations that the Planning and Zoning Commission and Town Council should consider prior to approval of a special use permit: <ul style="list-style-type: none"> <li>(1) The proposed use complies with all the requirements of the zoning district in which the special use permit is located;</li> </ul>

- (2) The proposed use as located and configured will contribute to or promote the general welfare and convenience of the Town;
- (3) The benefits that the town gains from the proposed use outweigh the loss of or damage to any homes, businesses, natural resources, agricultural lands, historical or cultural landmarks or sites, wildlife habitats, parks, or natural, scenic, or historical features of significance, and outweigh the personal and economic cost of any disruption to the lives, business and property of individuals affected by the proposed use;
- (4) Adequate utilities, road access, drainage and other necessary supporting facilities have been or shall be provided;
- (5) The design, location and arrangement of all public and private streets, driveways, parking spaces, entrances and exits shall provide for a safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
- (6) The issuance of the special use permit does not impede the normal and orderly development and improvement of neighboring vacant property;
- (7) The location, nature and height of buildings, structures, walls and fences are not out of scale with the neighborhood;
- (8) The proposed use will be compatible with and not injurious to the use and enjoyment of neighboring property, nor significantly diminish or impair property values within the vicinity;
- (9) Adequate nuisance prevention measures have been or shall be taken to prevent or control offensive odors, fumes, dust, noise, vibration and visual blight;
- (10) Sufficient on-site lighting is provided for adequate safety of patrons, employees and property and such lighting is adequately shielded or directed so as not to disturb or adversely affect neighboring properties;
- (11) There is sufficient landscaping and screening to ensure harmony and compatibility with adjacent properties;
- (12) The proposed operation is consistent with the applicant's submitted plans, master plans, projections, or where inconsistencies exist, the benefits to the community outweigh the costs;
- (13) The proposed use is in accordance with the Town's comprehensive plan.

**RECOMMENDED  
ACTIONS:**

The Town Council has the following options when considering a Special Use Permit application:

- Approval as submitted;
- Approval with conditions;
- Table to specific date with clarification of intent and purpose; or
- Denial of application.

**STAFF  
RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following conditions:

- The patio shall close at 10:00 p.m.; and
- Expiration in five years or change of ownership.

**REPORT ON PLANNING AND ZONING COMMISSION MEETING**  
**May 5, 2015**

**1. Zoning Case Z-207 – Verizon Wireless cellular tower**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Kathy Zibilich Verizon came and spoke in favor of this SUP. She indicated that they would be adding equipment on the tower as well as a new generator on the surface. The new generator would only be needed in case of an emergency. It would be enclosed in a 6 foot chain link fence.

Discussion: The commissioner's asked questions concerning safety, noise, and fence height. No commissioner had any concerns about the answers to any questions.

**2. Zoning Case Z-208 – ACE Ice House – SUP Renewal**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Matt Armo spoke in favor of this SUP. He is the owner and operator of the ICE house.

Discussion: The commissioner's did not have any concern about the SUP and it was quickly approved.

**3. Zoning Case Z-209 – Linda Simic establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Linda Simic spoke in favor of this SUP. Mr. Randy Bell and Ms. Barbara Brown also spoke in favor of this SUP. Ms Simic indicated that she would be running an adult lounge type establishment that expected mid 30 to mid 60's customers. There would be more alcohol than food sales. Hours would be 11:00am – 2:00am, 7 days a week. The establishment would have live music, open mic, a ping pong table, and smoking. Nobody came and spoke in opposition to this SUP.

Discussion: The commissioner's asked questions concerning safety, noise, light, proximity to the adjacent dance studio and adjoining Jr. High School. Although no one came to speak against this SUP, concerns about the impact to the adjacent neighborhood were discussed. We approved this SUP as presented, but Commission Kushma did request that we consider a 1 year limit on the SUP. The concern being that the Ms. Simic signed a 5 year lease, so the SUP would be in effect until change in ownership. The time limit was not included in the SUP as approved, but something for council to consider in their discussions of this SUP.

**4. Zoning Case Z-210 – Linda Simic SUP to sell alcohol**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and closed with nobody speaking for or against this SUP.

Discussion: The commissioner's did not have any concern about the SUP as the questions and concerns were raised with SUP case Z-209.

**5. Zoning Case Z-211 – Nicole Myers – establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Pat Myers came and spoke in favor of this SUP. He indicated that they would be adding additional space to the existing Dr. Jeckyll's Beer lab. They would be serving food, and alcohol in addition to the existing homebrew ingredients that they sell. Mr. Myers expected more food sales than liquor sales. The hours of operation would be early hours, they would close at midnight. Some nights earlier depending on business.

Discussion: The commissioner's asked questions concerning safety, noise, and the location near the existing snow cone establishment. No commissioner had any concerns about the answers to any questions.

Any questions or concerns about this summary, please feel free to contact me at any time.

Stephen Smith  
Chairman

Signatures

Meeting May 24<sup>th</sup> Monday 7 P.M.



Town of Pantego  
1614 S. Bowen Rd., Pantego, TX 76013  
(817)274-1381 or (817)265-1375 Fax

APPLICATION FOR A SPECIAL USE PERMIT

APPLICANT If applicant is NOT owner of property, Agent Authorization Form must be completed.

Name: Linda Simic Date: 3/26/15

Address: 4002 Sumac Ct.

Street Address  
Ar. Tx 76017  
City State Zip

Phone: 817-913-5655 Email: \_\_\_\_\_

Applicant Status:  Owner  Tenant  Purchaser  Other

PROPERTY DEVELOPMENT INFORMATION

Address: 2304 W. Park Row Suite 25

Legal Description:

Property is subdivided: Addition: Lake wood Addition  
Lot: #1 Block: 2300-2400

Property is not subdivided: Survey: J. Barry Survey, A-155  
Abstract#: L-41-50 Tract: A-155

Existing Classification: Retail, storage, daycare

Developer: _____	Agent: _____
Address: _____	Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone/Fax: _____	Phone/Fax: _____
Surveyor: _____	Engineer: _____
Address: _____	Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone/Fax: _____	Phone/Fax: _____

Present use of the property: Empty

Proposed use of the property: Lounge & eatery

Status of development plans:  None  Site Plans Complete  Building Plans Complete



ACKNOWLEDGMENTS

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Planning and Zoning Commission hearing thereon. I understand that if any of the above information is found to be wrong or inaccurate that my application may be removed from consideration prior to the time the application is voted upon by the governing body of the Town. I further acknowledge that attesting to inaccurate or false information on this zoning application can result in conviction of a misdemeanor and fine not to exceed \$2,000.

I understand that in the event the undersigned is not present or represented at the public hearing the Planning and Zoning Commission shall have the power to dismiss this proposal either at the call of the case or after hearing, and such dismissal shall constitute a denial by both the Planning and Zoning Commission and the Town Council.

I reserve the right to withdraw this proposal at any time, except during notice periods, upon written request filed with the Town Secretary, and such withdrawal shall immediately stop all proceedings thereon; provided, however, withdrawal filed at any time after the giving of notice of the Planning and Zoning Commission hearing shall constitute a denial by the Commission and the Town Council. I understand that the filing fee is not refundable upon withdrawal of the proposal.

Applicant: Linda Simic Date: 3/27/15

State of Texas )  
County of )

Sworn and subscribed before me the undersigned notary public this the 27 day of March 20 15

Barbara Brown  
Notary Public



Commission Expires: 12-29-15  
Seal:

OFFICE USE ONLY

Application Checklist:

- Complete application form
- Site Plan
- Agent Authorization Form (if necessary)
- Additional Submittals Information
- Application Fee

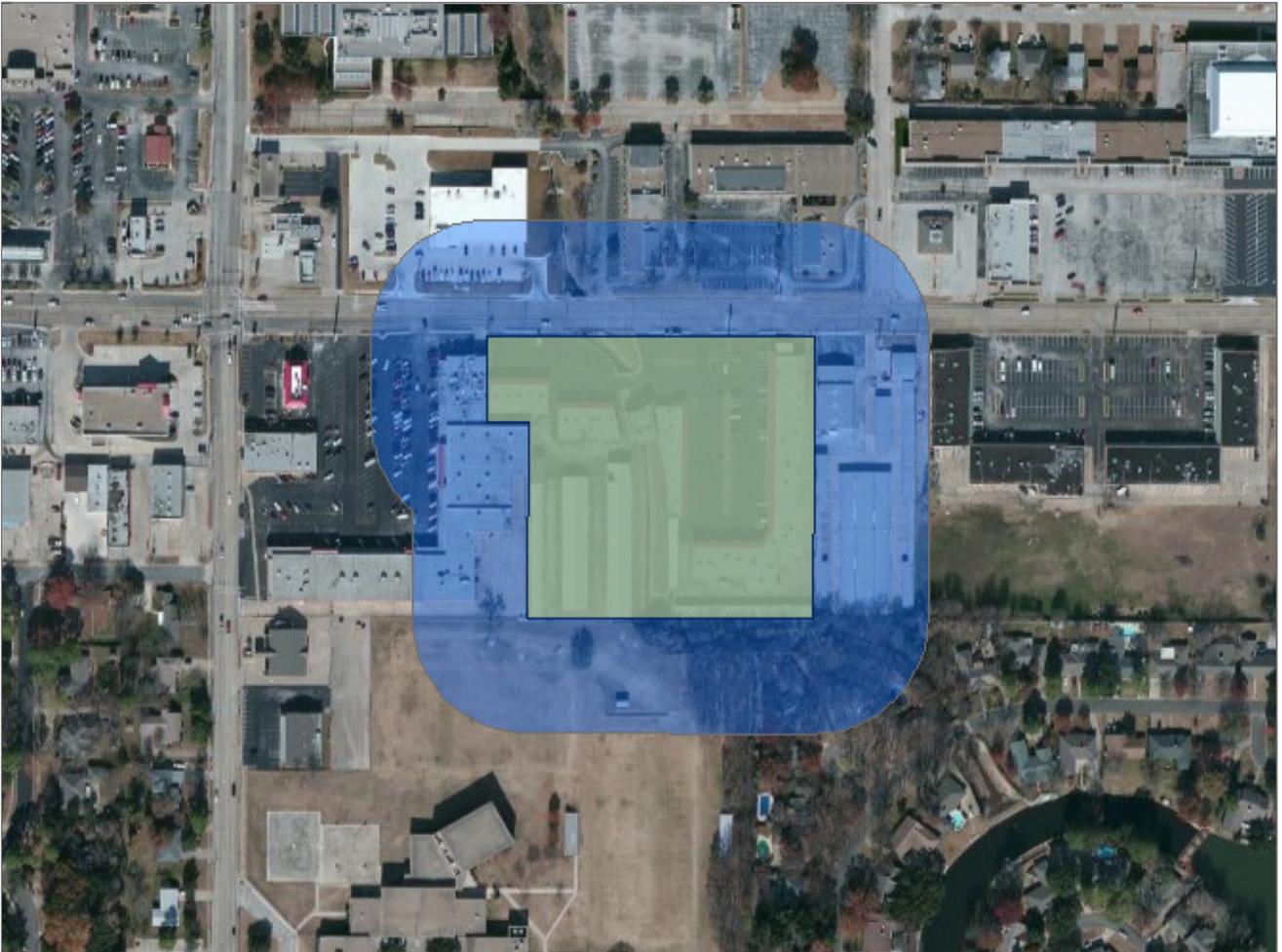
Application accepted by: Chelsea Nelson Date: 3-31-15

Checked for completeness: ✓ Fee Paid: \$500 Receipt No.: \_\_\_\_\_

Remarks: \_\_\_\_\_

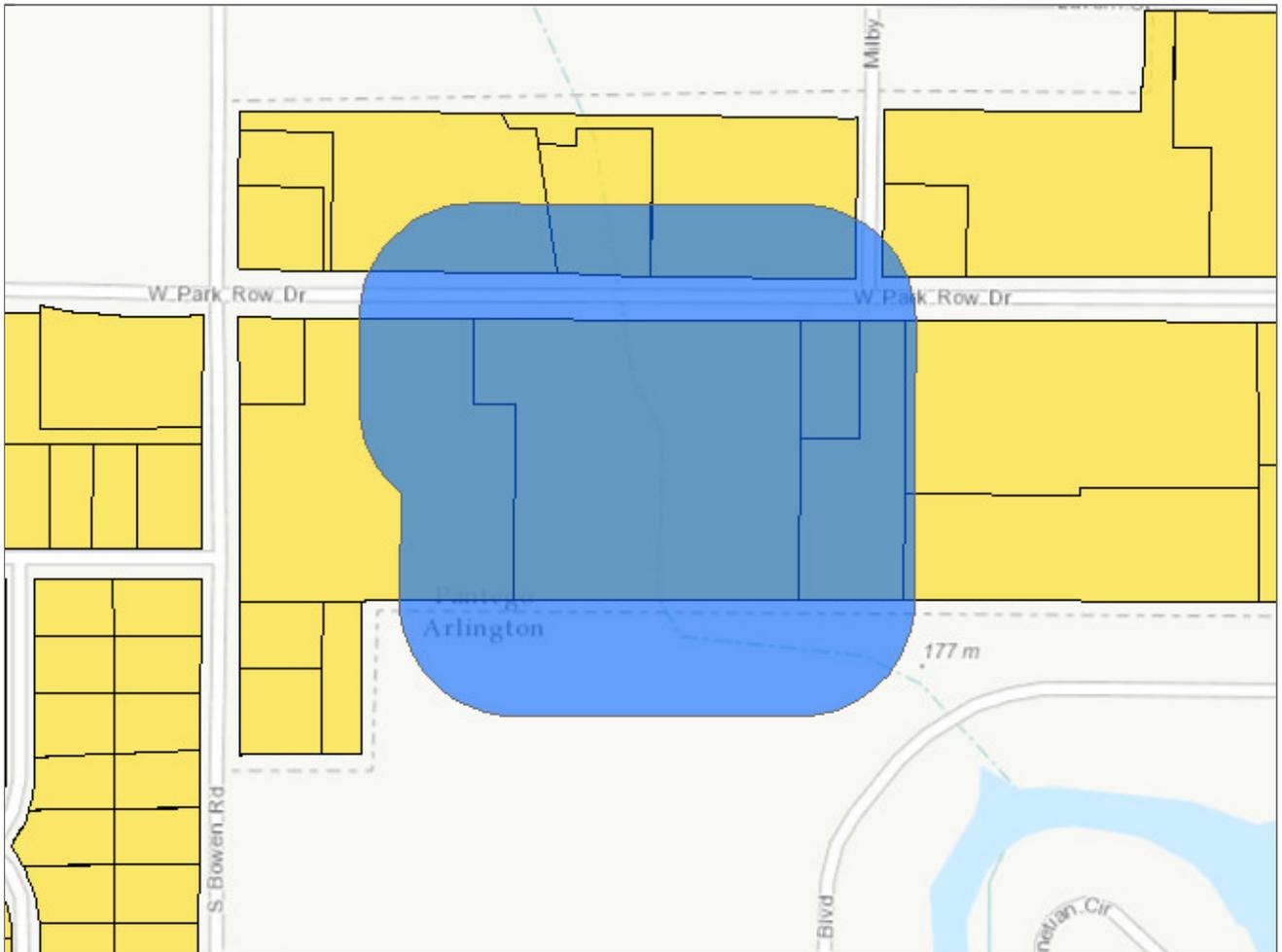
Set for P&Z: May 4 Set for Council: May 11

# Parcel Map



DigitalGlobe, GeoEye, Microsoft

# Parcel Map



Esri, HERE, DeLorme, Intermap, iPC, USGS, USDA, EPA

## NOTIFICATION LIST, Z-209

LOCATION	OWNER	STREET ADDRESS	CITY	STAT	ZIP CODE	LEGAL 1
2301 W Park Row Dr	BOMAC Partners, Ltd.	1110 W State Hwy 114 #200	SLK	TX	76092-5250	Westbury Square Addn
2417 W Park Row Dr	Aldi (Texas) LLC	2500 Westcourt Rd	DEN	TX	76207-4532	Westbury Square Addn
2302 W Park Row Dr	Kindred Glass Co	2302 W Park Row Dr	PAN	TX	76013-3301	Barry, William J Survey
2401 W Park Row Dr	Mercantile Bank	2401 W Park Row Dr	PAN	TX	76013-3392	Westbury Square Addn
2304 W Park Row Dr	Farrell Property Co Ltd	2304 W Park Row Dr #7	PAN	TX	76013-3347	Barry, William J Survey
1517 S Bowen Rd	4D-Jkl Corporation	3100 W Arkansas Ln #103	ARL	TX	76016-5871	Barry, William J Survey
2233 W Park Row Dr	S&D Family Partners LP	2227 W Park Row Dr (A)	PAN	TX	76013-3485	Park's, G W Subdivision
2220 W Park Row Dr	Walker, Robert A	PO Box 13933	ARL	TX	76094-0933	Village Park Addition-Pantego
2220 W Park Row Dr	Village Park Investments LP	670 W Arapaho Rd	RICH	TX	75080-4200	Village Park Addition-Pantego
2215 Briarwood Blvd	Andrew & Jennif Novoselsky	2215 Briarwood Blvd	ARL	TX	76013-3317	Lakewood Addition - Arlington
2301 Briarwood Blvd	Amy Jo Leisure	2301 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington
2303 Briarwood Blvd	Andre J & Camilla C Carter	2303 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington
2305 Brairwood Blvd	Wanda F Ball	2305 Brairwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington
2307 Briarwood Blvd	Hildegard M Williams	2307 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington
2411 Winewood Ln	Arlington Independent School District	1203 W Pioneer Pkwy	ARL	TX	76013	W J Barry Addition

ABBREVIATION	CITY
SLK	SOUTHLAKE
DEN	DENTON
PAN	PANTEGO
ARL	ARLINGTON
RICH	RICHARDSON

**LEGAL 2**

Blk 1 Lot 4R

Blk 1 Lot 2R

A 155 Tr 1A02A 1A2B

Blk 1 Lot 3R

Abst 155 Trs 1A3 1A3A 1A3B

A 155 Tr 1A01A

Blk 10 Lot 1

Blk 1 Lot 2R

Blk 1 Lot 1R1

Block 1, Lot 12

Block 1, Lot 11

Block 1, Lot 10

Block 1, Lot 9

Block 1, Lot 8

Lot 1



# AGENDA BACKGROUND

**AGENDA ITEM:** Public Hearing, discuss, direct, and consider action on Ordinance 15-760 an ordinance of the Town Council of the Town of Pantego, Texas, for Zoning Case Z-210, a proposed Special Use Permit as requested by Linda Simic to sell alcoholic beverages (mixed beverage/late hours) for on-premise consumption at 2304 W. Park Row Drive #25, Tract 1A3. 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Lakewood Shopping Center on the south side of the West Park Row Drive between South Bowen Road and Milby Road.

**Date:** May 11, 2015

**PRESENTER:**

Chad Joyce, Community Development Director

**BACKGROUND:**

See Community Development Staff Report.

The Notice of Public Hearing was published on April 24, 2015 in the Fort Worth Commercial Recorder, the Town's official newspaper. This Notice was also posted on the Town's bulletin board and the Town's website. Owners of property within two hundred (200) feet of the applicant property were given notice via U.S. Mail.

**FISCAL IMPACT:**

N/A

**RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following condition:

- Expiration upon change of ownership.

**ATTACHMENTS:**

Proposed Ordinance No. 15-760  
 Community Development Staff Report  
 Planning and Zoning Chairman Report  
 Application, Zoning Case Z-210  
 Notification Map  
 Notification Address List

Director's Review: \_\_\_\_\_  
 City Manager's Review: \_\_\_\_\_

**ORDINANCE NO. 15-760**

**AN ORDINANCE OF THE TOWN OF PANTEGO AUTHORIZING A SPECIAL USE PERMIT ISSUED TO LINDA SIMIC FOR THE SALE OF ALCOHOLIC BEVERAGES (MIXED BEVERAGE/LATE HOURS) FOR ON-PREMISE CONSUMPTION IN AN ALCOHOLIC BEVERAGE ESTABLISHMENT LOCATED AT 2304 W PARK ROW DRIVE, SUITE 25, TRACTS 1A3, 1A3A, 1A3B, 1A5, 1A5B, AND 1A5C OF THE WILLIAM J BARRY SURVEY, PANTEGO, TARRANT COUNTY, TEXAS; AND DECLARING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Pantego, Texas is a Type A General Law Municipality located in Tarrant County, Texas, created in accordance with provisions of Chapter 6 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Chapter 14, Section 14.02.513(7) of the Town of Pantego Municipal Code allows for an exception for the sale of alcoholic beverages for on-premises consumption; and

**WHEREAS**, the Planning & Zoning Commission as required by Chapter 211 of the Texas Local Government Code has duly published a Notice of Public Hearing in the Fort Worth Commercial Recorder, the official newspaper for the Town of Pantego, on April 24, 2015; and

**WHEREAS**, the Planning and Zoning Commission has received and reviewed the application from Linda Simic and has determined that it complies with all requirements for the Special Use Permit; and

**WHEREAS**, the Commissioners recommended approval of this application at their regularly scheduled meeting on May 4, 2015; and

**WHEREAS**, the Town Council by affirmative vote of four of its members may by ordinance authorize special use permits; and

**WHEREAS**, presentation of this ordinance at a meeting preceding the meeting at which the ordinance is enacted places an undue burden in administrative time and expense to the Town, and as reflected by the vote of two-thirds of the Councilmember's present, the requirements of Section 1.03.035(b) are hereby waived.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS THAT:**

**SECTION 1:**

The Town Council authorizes a Special Use Permit for the sale of alcoholic beverages (mixed beverage/late hours) for on-premises consumption in an establishment located at:

Tracts 1A3, 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey in Pantego, Tarrant County, Texas  
2304 W Park Row Drive, Suite 25, Pantego, Texas

as requested by Linda Simic.

**SECTION 2:**

This Special Use Permit shall expire five years from the effective date of this ordinance.

**SECTION 3:  
PROVISIONS CUMULATIVE**

This ordinance shall be cumulative of all provisions of the ordinances of the Town of Pantego, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such Ordinances, in which event the conflicting provisions of such Ordinances are hereby repealed.

**SECTION 4:  
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law, and it is so ordained.

**PASSED AND APPROVED AFTER WAIVER OF THE REQUIREMENTS OF TOWN CODE SECTION 1.03.035(b) THIS THE 11<sup>th</sup> DAY OF MAY 2015 BY A VOTE OF \_\_ AYES, \_\_ NAYS, AND \_\_ ABSTENTIONS, AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS.**

\_\_\_\_\_  
**Melody Paradise, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Julie Arrington, City Secretary**

**APPROVE AS TO FORM:**

\_\_\_\_\_  
**Jim Jeffrey, City Attorney**



## COMMUNITY DEVELOPMENT STAFF REPORT

<b>MEETING DATE:</b>	May 11, 2015
<b>ACTION REQUESTED:</b>	Consider approval for a Special Use Permit to sell alcohol (mixed beverage/late hours) for on-premise consumption.
<b>PROPERTY DESCRIPTION:</b>	2304 W. Park Row Drive #25, Tract 1A3. 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas.
<b>PROPERTY OWNER:</b>	Farrell Property Co. Ltd.
<b>APPLICANT:</b>	Linda Simic
<b>CURRENT ZONING:</b>	C-3 Commercial District
<b>SURROUNDING ZONING/LAND USE:</b>	North – C-2 Commercial District – Westbury Square East – C-3 Commercial District – mini warehouse use South – Arlington – residential and junior high school West – C-3 Commercial District – shopping centers
<b>REQUESTED VARIANCES:</b>	A variance from the 300 foot buffer distance from a public school would be required.
<b>ANALYSIS:</b>	Linda Simic is requesting a Special Use Permit to sell alcohol (mixed beverage/late hours) for on-premise consumption. In conjunction with Zoning Case Z-209, Ms. Simic is requesting the ability to establish alcohol sales within the Town.
<b>SPECIAL USE PERMIT CONSIDERATIONS:</b>	<p>The Town of Pantego Zoning Ordinance states the following considerations that the Planning and Zoning Commission and Town Council should consider prior to approval of a special use permit:</p> <ol style="list-style-type: none"> <li>(1) The proposed use complies with all the requirements of the zoning district in which the special use permit is located;</li> <li>(2) The proposed use as located and configured will contribute to or promote the general welfare and convenience of the Town;</li> <li>(3) The benefits that the town gains from the proposed use outweigh the loss of or damage to any homes, businesses, natural resources, agricultural lands, historical or cultural landmarks or sites, wildlife habitats, parks, or natural, scenic, or historical features of significance, and outweigh the personal and economic cost of any disruption to the lives, business and property of individuals affected by the proposed use;</li> <li>(4) Adequate utilities, road access, drainage and other necessary supporting facilities have been or shall be provided;</li> <li>(5) The design, location and arrangement of all public and private streets, driveways, parking spaces, entrances and exits shall provide for a safe and convenient movement of</li> </ol>

vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;

(6) The issuance of the special use permit does not impede the normal and orderly development and improvement of neighboring vacant property;

(7) The location, nature and height of buildings, structures, walls and fences are not out of scale with the neighborhood;

(8) The proposed use will be compatible with and not injurious to the use and enjoyment of neighboring property, nor significantly diminish or impair property values within the vicinity;

(9) Adequate nuisance prevention measures have been or shall be taken to prevent or control offensive odors, fumes, dust, noise, vibration and visual blight;

(10) Sufficient on-site lighting is provided for adequate safety of patrons, employees and property and such lighting is adequately shielded or directed so as not to disturb or adversely affect neighboring properties;

(11) There is sufficient landscaping and screening to ensure harmony and compatibility with adjacent properties;

(12) The proposed operation is consistent with the applicant's submitted plans, master plans, projections, or where inconsistencies exist, the benefits to the community outweigh the costs;

(13) The proposed use is in accordance with the Town's comprehensive plan.

**RECOMMENDED**

**ACTIONS:**

The Town Council has the following options when considering a Special Use Permit application:

- Approval as submitted;
- Approval with conditions;
- Table to specific date with clarification of intent and purpose; or
- Denial of application.

**STAFF**

**RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following condition:

- Expiration upon change of ownership.

**REPORT ON PLANNING AND ZONING COMMISSION MEETING**  
**May 5, 2015**

**1. Zoning Case Z-207 – Verizon Wireless cellular tower**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Kathy Zibilich Verizon came and spoke in favor of this SUP. She indicated that they would be adding equipment on the tower as well as a new generator on the surface. The new generator would only be needed in case of an emergency. It would be enclosed in a 6 foot chain link fence.

Discussion: The commissioner's asked questions concerning safety, noise, and fence height. No commissioner had any concerns about the answers to any questions.

**2. Zoning Case Z-208 – ACE Ice House – SUP Renewal**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Matt Armo spoke in favor of this SUP. He is the owner and operator of the ICE house.

Discussion: The commissioner's did not have any concern about the SUP and it was quickly approved.

**3. Zoning Case Z-209 – Linda Simic establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Linda Simic spoke in favor of this SUP. Mr. Randy Bell and Ms. Barbara Brown also spoke in favor of this SUP. Ms Simic indicated that she would be running an adult lounge type establishment that expected mid 30 to mid 60's customers. There would be more alcohol than food sales. Hours would be 11:00am – 2:00am, 7 days a week. The establishment would have live music, open mic, a ping pong table, and smoking. Nobody came and spoke in opposition to this SUP.

Discussion: The commissioner's asked questions concerning safety, noise, light, proximity to the adjacent dance studio and adjoining Jr. High School. Although no one came to speak against this SUP, concerns about the impact to the adjacent neighborhood were discussed. We approved this SUP as presented, but Commission Kushma did request that we consider a 1 year limit on the SUP. The concern being that the Ms. Simic signed a 5 year lease, so the SUP would be in effect until change in ownership. The time limit was not included in the SUP as approved, but something for council to consider in their discussions of this SUP.

#### **4. Zoning Case Z-210 – Linda Simic SUP to sell alcohol**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and closed with nobody speaking for or against this SUP.

Discussion: The commissioner's did not have any concern about the SUP as the questions and concerns were raised with SUP case Z-209.

#### **5. Zoning Case Z-211 – Nicole Myers – establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Pat Myers came and spoke in favor of this SUP. He indicated that they would be adding additional space to the existing Dr. Jeckyll's Beer lab. They would be serving food, and alcohol in addition to the existing homebrew ingredients that they sell. Mr. Myers expected more food sales than liquor sales. The hours of operation would be early hours, they would close at midnight. Some nights earlier depending on business.

Discussion: The commissioner's asked questions concerning safety, noise, and the location near the existing snow cone establishment. No commissioner had any concerns about the answers to any questions.

Any questions or concerns about this summary, please feel free to contact me at any time.

Stephen Smith  
Chairman



Town of Pantego  
1614 S. Bowen Rd., Pantego, TX 76013  
(817)274-1381 or (817)265-1375 Fax

### APPLICATION FOR A SPECIAL USE PERMIT

#### APPLICANT

If applicant is NOT owner of property, Agent Authorization Form must be completed.

Name: Linda Simic Date: 3/26/15

Address: 4002 Sumac Ct  
Street Address

Ar1. Tx 76017  
City State Zip

Phone: 817-913-5655 Email: \_\_\_\_\_

Applicant Status:  Owner  Tenant  Purchaser  Other

#### PROPERTY DEVELOPMENT INFORMATION

Address: 2304 W. Park Row Suite 25

Legal Description:

Property is subdivided: Addition: Lake wood Addition #1  
Lot: 1 Block: 2300 - 2400

Property is not subdivided: Survey: J. Barry Survey, A-155  
Abstract#: 641-150 Tract: A-155

Existing Classification: Retail & storage, Daycare

Developer: _____	Agent: _____
Address: _____	Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone/Fax: _____	Phone/Fax: _____
Surveyor: _____	Engineer: _____
Address: _____	Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone/Fax: _____	Phone/Fax: _____

Present use of the property: Empty

Proposed use of the property: Lounge & eatery

Status of development plans:  None  Site Plans Complete  Building Plans Complete



ACKNOWLEDGMENTS

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Planning and Zoning Commission hearing thereon. I understand that if any of the above information is found to be wrong or inaccurate that my application may be removed from consideration prior to the time the application is voted upon by the governing body of the Town. I further acknowledge that attesting to inaccurate or false information on this zoning application can result in conviction of a misdemeanor and fine not to exceed \$2,000.

I understand that in the event the undersigned is not present or represented at the public hearing the Planning and Zoning Commission shall have the power to dismiss this proposal either at the call of the case or after hearing, and such dismissal shall constitute a denial by both the Planning and Zoning Commission and the Town Council.

I reserve the right to withdraw this proposal at any time, except during notice periods, upon written request filed with the Town Secretary, and such withdrawal shall immediately stop all proceedings thereon; provided, however, withdrawal filed at any time after the giving of notice of the Planning and Zoning Commission hearing shall constitute a denial by the Commission and the Town Council. I understand that the filing fee is not refundable upon withdrawal of the proposal.

Applicant: Linda Simic Date: 3/27/15

State of Texas )  
County of )

Sworn and subscribed before me the undersigned notary public this the 27 day of March 2015

Barbara Brown

Notary Public

Commission Expires: 12-29-15

Seal:



OFFICE USE ONLY

Application Checklist:

- Complete application form
- Agent Authorization Form (if necessary)
- Application Fee
- Site Plan
- Additional Submittals Information

Application accepted by: Chelsea Nelson Date: 3-27-15

Checked for completeness: ✓ Fee Paid: ✓ Receipt No.: 63210

Remarks: \_\_\_\_\_

Set for P&Z: May 5, 2015 Set for Council: May 11, 2015

To: Whomever it may concern  
regarding my special use permit

PREPARED BY

J.S.

DATE

3-27-15

The present property @ 2304 W. Park Row Suite 25  
has been vacant for over a year providing  
no taxable income to the city of Pantego.

I wish to utilize said property  
with a lounge and eatery.

I will be signing a five yr. lease w/option  
to renew so I will be an asset to Pantego  
for years to come. I will be bringing people  
back to Pantego from my establishment  
in Arlington so they will be able to spend  
their monies in Pantego.

I have an excellent record with  
T.A.B.C. also the Arlington Police Dept.

I look to bring in at least 250,000 in taxable  
revenue a year in Pantego. I have been at my  
present location for 15 1/2 years, but the demographics  
have changed and I don't wish to service the  
kind of clientele it has brought in.

We wish to be very active in the Pantego  
community and we do several fundraisers  
per year for various charities including  
Marys House, Battered Women's Shelters  
and others. I've looked at many  
locations, but since I already have patrons  
from Pantego and the fact that I like the town  
and how it's growing I would like to be  
allowed to bring my business to Pantego



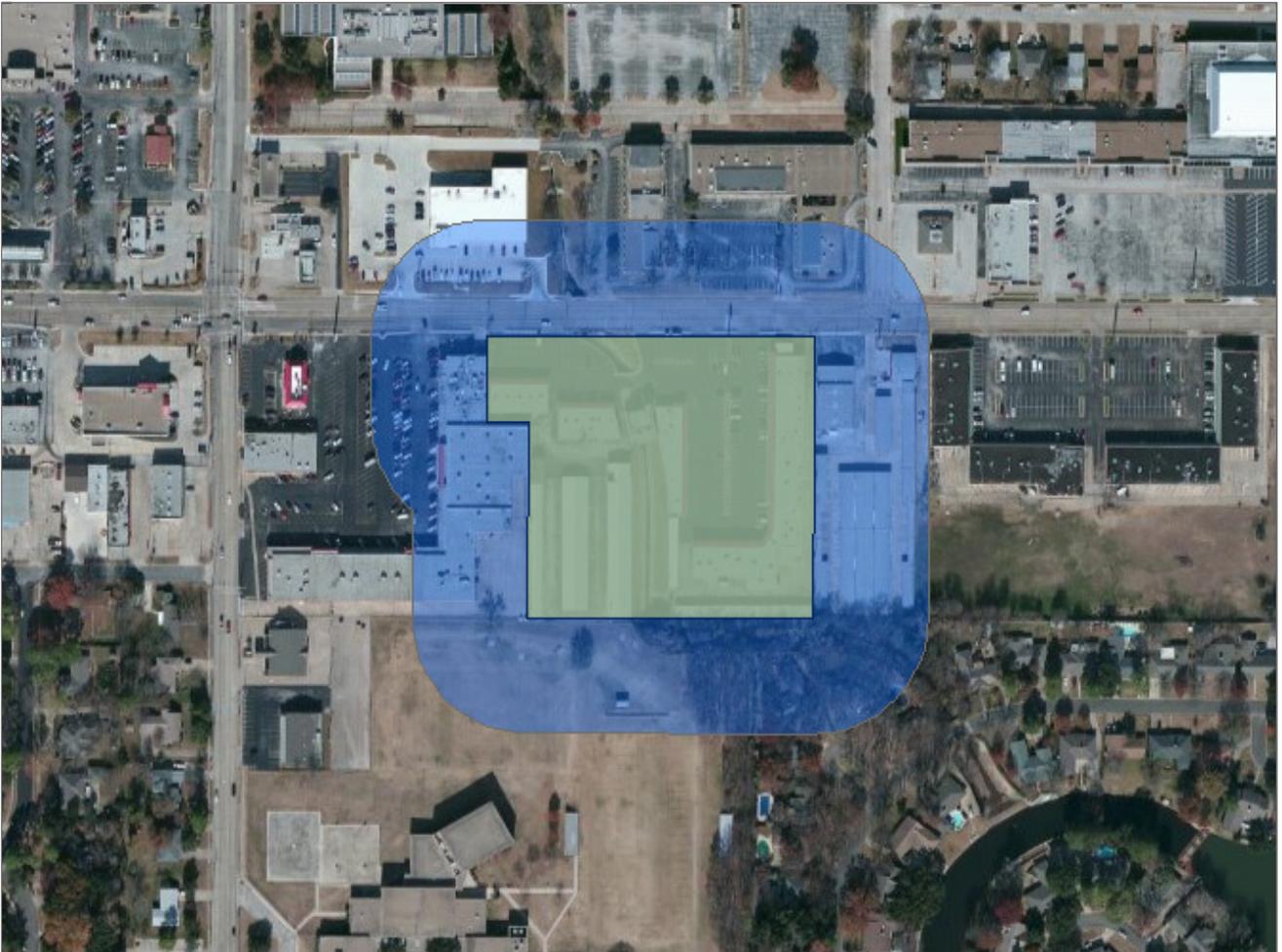
ADDITIONAL SUBMITTAL INFORMATION

- NA ■ Any final environmental assessment and/or final environmental impact statement that may be required pursuant to state or federal statutes
- NA ■ Copies of studies or analyses upon which have been based projections for need or demand for the proposed facility
- NA ■ Copies of studies or analysis upon which alternatives have been considered and evaluated
  - NA ■ Description of present use, assessed value & actual value of the land affected by the proposed facility
  - NA ■ Description of the proposed use, anticipated assessed value and supporting documentation
- NA ■ Description of any long term plans or master plan for the future use or development of the property
  - NA ■ Description of the applicant's ability to obtain needed easements to serve the proposed use
- NA ■ Description of the type, feasibility and cost of any proposed mitigation necessary to make the proposed use compatible with current and future land use patterns
  - NA ■ Description of any special construction requirements that may be necessary for any construction or development on the subject property
- If the proposed use will result in a significant increase in traffic, a traffic impact analysis prepared by a certified professional engineer qualified in the field of traffic engineering and forecasting
- A noise management plan detailing the projected noise produced by the proposed use, including, but not limited to, the projected noise volume and duration, and the noise mitigation measures proposed to be implemented

See attachment

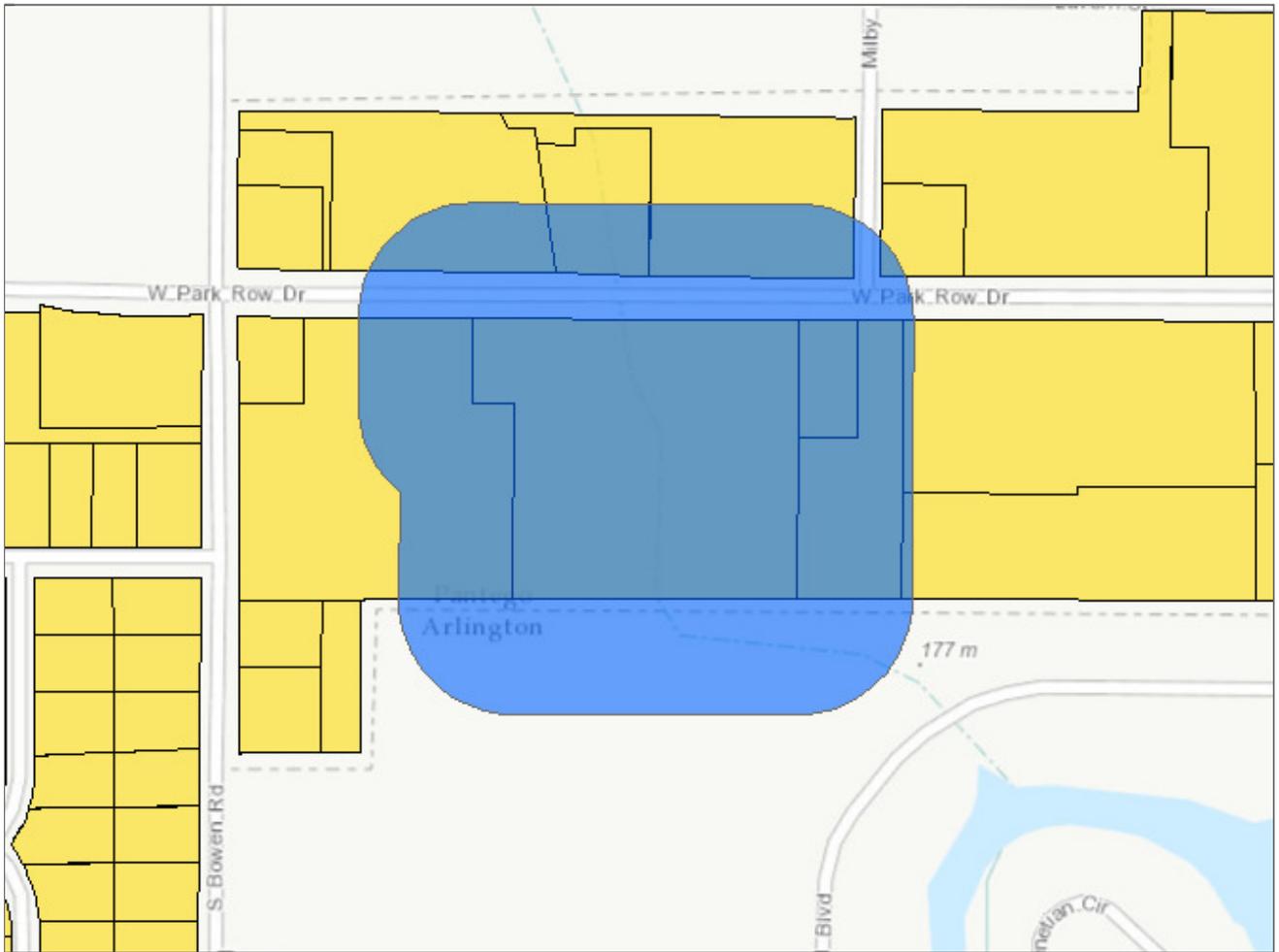
*Am willing to comply with all noise ordinances.*

# Parcel Map



DigitalGlobe, GeoEye, Microsoft

# Parcel Map



Esri, HERE, DeLorme, Intermap, iPC, USGS, USDA, EPA

## NOTIFICATION LIST, Z-210

LOCATION	OWNER	STREET ADDRESS	CITY	STATI	ZIP CODE	LEGAL 1	LEGAL 2
2301 W Park Row Dr	BOMAC Partners, Ltd.	1110 W State Hwy 114 #200	SLK	TX	76092-5250	Westbury Square Addn	Blk 1 Lot 4R
2417 W Park Row Dr	Aldi (Texas) LLC	2500 Westcourt Rd	DEN	TX	76207-4532	Westbury Square Addn	Blk 1 Lot 2R
2302 W Park Row Dr	Kindred Glass Co	2302 W Park Row Dr	PAN	TX	76013-3301	Barry, William J Survey	A 155 Tr 1A02A 1A2B
2401 W Park Row Dr	Mercantile Bank	2401 W Park Row Dr	PAN	TX	76013-3392	Westbury Square Addn	Blk 1 Lot 3R
2304 W Park Row Dr	Farrell Property Co Ltd	2304 W Park Row Dr #7	PAN	TX	76013-3347	Barry, William J Survey	Abst 155 Trs 1A3 1A3A 1A3B
1517 S Bowen Rd	4D-Jkl Corporation	3100 W Arkansas Ln #103	ARL	TX	76016-5871	Barry, William J Survey	A 155 Tr 1A01A
2233 W Park Row Dr	S&D Family Partners LP	2227 W Park Row Dr (A)	PAN	TX	76013-3485	Park's, G W Subdivision	Blk 10 Lot 1
2220 W Park Row Dr	Walker, Robert A	PO Box 13933	ARL	TX	76094-0933	Village Park Addition-Pantego	Blk 1 Lot 2R
2220 W Park Row Dr	Village Park Investments LP	670 W Arapaho Rd	RICH	TX	75080-4200	Village Park Addition-Pantego	Blk 1 Lot 1R1
2215 Briarwood Blvd	Andrew & Jennif Novoselsky	2215 Briarwood Blvd	ARL	TX	76013-3317	Lakewood Addition - Arlington	Block 1, Lot 12
2301 Briarwood Blvd	Amy Jo Leisure	2301 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington	Block 1, Lot 11
2303 Briarwood Blvd	Andre J & Camilla C Carter	2303 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington	Block 1, Lot 10
2305 Brairwood Blvd	Wanda F Ball	2305 Brairwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington	Block 1, Lot 9
2307 Briarwood Blvd	Hildegard M Williams	2307 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington	Block 1, Lot 8
2411 Winewood Ln	Arlington Independent School District	1203 W Pioneer Pkwy	ARL	TX	76013	W J Barry Addition	Lot 1

ABBREVIATION	CITY
SLK	SOUTHLAKE
DEN	DENTON
PAN	PANTEGO
ARL	ARLINGTON
RICH	RICHARDSON



# AGENDA BACKGROUND

**AGENDA ITEM:** Public Hearing, discuss, direct, and consider action on Ordinance 15-761 an ordinance for the Town Council of the Town of Pantego, Texas for Zoning Case Z-211, a proposed Special Use Permit as requested by Nicole Myers to establish an alcoholic beverage establishment at 2416 West Park Row, Tracts 1A3, 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas. The property is generally located in the Lakewood Shopping Center on the south side of West Park Row Drive between South Bowen Road and Milby Road.

**Date:** May 11, 2015

**PRESENTER:**

Chad Joyce, Community Development Director

**BACKGROUND:**

See Community Development Staff Report.

The Notice of Public Hearing was published on April 24, 2015 in the Fort Worth Commercial Recorder, the Town's official newspaper. This Notice was also posted on the Town's bulletin board and the Town's website. Owners of property within two hundred (200) feet of the applicant property were given notice via U.S. Mail.

**FISCAL IMPACT:**

N/A

**RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following condition:

- Expiration upon change of ownership.

**ATTACHMENTS:**

Proposed Ordinance No. 15-761  
 Community Development Staff Report  
 Planning and Zoning Chairman Report  
 Ordinance 14-742  
 Application, Zoning Case Z-211  
 Notification Map  
 Notification Address List

Director's Review: \_\_\_\_\_  
 City Manager's Review: \_\_\_\_\_

**ORDINANCE NO. 15-761**

**AN ORDINANCE OF THE TOWN OF PANTEGO AUTHORIZING A SPECIAL USE PERMIT ISSUED TO NICOLE MYERS TO ESTABLISH AN ALCOHOLIC BEVERAGE ESTABLISHMENT LOCATED AT 2416 W PARK ROW DRIVE, TRACTS 1A3, 1A3A, 1A3B, 1A5, 1A5B, AND 1A5C OF THE WILLIAM J BARRY SURVEY, PANTEGO, TARRANT COUNTY, TEXAS; AND DECLARING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Pantego, Texas is a Type A General Law Municipality located in Tarrant County, Texas, created in accordance with provisions of Chapter 6 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Chapter 14, Section 14.02.513(5) of the Town of Pantego Municipal Code allows for an exception for any public or government building or use not elsewhere permitted in a particular district; and

**WHEREAS**, the Planning & Zoning Commission as required by Chapter 211 of the Texas Local Government Code has duly published a Notice of Public Hearing in the Fort Worth Commercial Recorder, the official newspaper for the Town of Pantego, on April 24, 2015; and

**WHEREAS**, the Planning and Zoning Commission has received and reviewed the application from Nicole Myers and has determined that it complies with all requirements for the Special Use Permit; and

**WHEREAS**, the Commissioners recommended approval of this application at their regularly scheduled meeting on May 4, 2015; and

**WHEREAS**, the Town Council by affirmative vote of four of its members may by ordinance authorize special use permits; and

**WHEREAS**, presentation of this ordinance at a meeting preceding the meeting at which the ordinance is enacted places an undue burden in administrative time and expense to the Town, and as reflected by the vote of two-thirds of the Councilmember's present, the requirements of Section 1.03.035(b) are hereby waived.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS THAT:**

**SECTION 1:**

The Town Council authorizes a Special Use Permit for the use of an alcoholic beverage establishment located at:

Tracts 1A3, 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey in Pantego, Tarrant County, Texas  
2416 W Park Row Drive, Pantego, Texas

as requested by Nicole Myers.

**SECTION 2:**

This Special Use Permit shall expire upon change of ownership.

**SECTION 3:  
PROVISIONS CUMULATIVE**

This ordinance shall be cumulative of all provisions of the ordinances of the Town of Pantego, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such Ordinances, in which event the conflicting provisions of such Ordinances are hereby repealed.

**SECTION 4:  
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law, and it is so ordained.

**PASSED AND APPROVED AFTER WAIVER OF THE REQUIREMENTS OF TOWN CODE SECTION 1.03.035(b) THIS THE 11<sup>th</sup> DAY OF MAY 2015 BY A VOTE OF \_\_ AYES, \_\_ NAYS, AND \_\_ ABSTENTIONS, AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS.**

\_\_\_\_\_  
**Melody Paradise, Mayor**

**ATTEST:**

\_\_\_\_\_  
**Julie Arrington, City Secretary**

**APPROVE AS TO FORM:**

\_\_\_\_\_  
**Jim Jeffrey, City Attorney**



## COMMUNITY DEVELOPMENT STAFF REPORT

<b>MEETING DATE:</b>	May 11, 2015
<b>ACTION REQUESTED:</b>	Consider approval for a Special Use Permit to establish an alcoholic beverage establishment.
<b>PROPERTY DESCRIPTION:</b>	2416 West Park Row, Tracts 1A3, 1A3A, 1A3B, 1A5, 1A5B, and 1A5C of the William J Barry Survey, Pantego, Tarrant County, Texas.
<b>PROPERTY OWNER:</b>	Farrell Property Co. Ltd.
<b>APPLICANT:</b>	Nicole Myers
<b>CURRENT ZONING:</b>	C-3 Commercial District
<b>SURROUNDING ZONING/LAND USE:</b>	North – C-3 Commercial District – grocery store East – C-3 Commercial District – shopping center South – Arlington – junior high school West – C-3 Commercial District – shopping centers
<b>REQUESTED VARIANCES:</b>	A variance from the 300 foot buffer distance from a public school would be required.
<b>ANALYSIS:</b>	In July 2014, Town Council approved a Special Use Permit for on-premise and off-premise sale of alcoholic beverages for Dr. Jeckyll’s Beer Lab. At the time, staff understood the business to be mercantile in nature, but with the ability to have open containers on premises. Recently the owner of Dr. Jeckyll’s has made application to expand the business with additional indoor and outdoor seating. Staff has required that the owner apply for an additional Special Use Permit for alcoholic beverage establishment since it is not allowed by right in any zoning district. This use determination will better reflect the actual operations of the business after expansion.
<b>ANALYSIS FROM P&amp;Z MEETING:</b>	Pat Myers was in attendance to represent the applicant. There was discussion of the proposed use including: food service, layout, outside seating in front of business, proximity to the snow cone stand, and brewing classes. The recommendation from the commissioners was to have the SUP expire upon change of ownership.
<b>SPECIAL USE PERMIT CONSIDERATIONS:</b>	The Town of Pantego Zoning Ordinance states the following considerations that the Planning and Zoning Commission and Town Council should consider prior to approval of a special use permit: <ul style="list-style-type: none"> <li>(1) The proposed use complies with all the requirements of the zoning district in which the special use permit is located;</li> <li>(2) The proposed use as located and configured will contribute to or promote the general welfare and convenience of the Town;</li> </ul>

- (3) The benefits that the town gains from the proposed use outweigh the loss of or damage to any homes, businesses, natural resources, agricultural lands, historical or cultural landmarks or sites, wildlife habitats, parks, or natural, scenic, or historical features of significance, and outweigh the personal and economic cost of any disruption to the lives, business and property of individuals affected by the proposed use;
- (4) Adequate utilities, road access, drainage and other necessary supporting facilities have been or shall be provided;
- (5) The design, location and arrangement of all public and private streets, driveways, parking spaces, entrances and exits shall provide for a safe and convenient movement of vehicular and pedestrian traffic without adversely affecting the general public or adjacent developments;
- (6) The issuance of the special use permit does not impede the normal and orderly development and improvement of neighboring vacant property;
- (7) The location, nature and height of buildings, structures, walls and fences are not out of scale with the neighborhood;
- (8) The proposed use will be compatible with and not injurious to the use and enjoyment of neighboring property, nor significantly diminish or impair property values within the vicinity;
- (9) Adequate nuisance prevention measures have been or shall be taken to prevent or control offensive odors, fumes, dust, noise, vibration and visual blight;
- (10) Sufficient on-site lighting is provided for adequate safety of patrons, employees and property and such lighting is adequately shielded or directed so as not to disturb or adversely affect neighboring properties;
- (11) There is sufficient landscaping and screening to ensure harmony and compatibility with adjacent properties;
- (12) The proposed operation is consistent with the applicant's submitted plans, master plans, projections, or where inconsistencies exist, the benefits to the community outweigh the costs;
- (13) The proposed use is in accordance with the Town's comprehensive plan.

**RECOMMENDED  
ACTIONS:**

The Town Council has the following options when considering a Special Use Permit application:

- Approval as submitted;
- Approval with conditions;
- Table to specific date with clarification of intent and purpose; or
- Denial of application.

**STAFF**

**RECOMMENDATION:**

Staff recommends approval of this Special Use Permit with the following condition:

- Expiration upon change of ownership.

**REPORT ON PLANNING AND ZONING COMMISSION MEETING**  
**May 5, 2015**

**1. Zoning Case Z-207 – Verizon Wireless cellular tower**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Kathy Zibilich Verizon came and spoke in favor of this SUP. She indicated that they would be adding equipment on the tower as well as a new generator on the surface. The new generator would only be needed in case of an emergency. It would be enclosed in a 6 foot chain link fence.

Discussion: The commissioner's asked questions concerning safety, noise, and fence height. No commissioner had any concerns about the answers to any questions.

**2. Zoning Case Z-208 – ACE Ice House – SUP Renewal**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Matt Armo spoke in favor of this SUP. He is the owner and operator of the ICE house.

Discussion: The commissioner's did not have any concern about the SUP and it was quickly approved.

**3. Zoning Case Z-209 – Linda Simic establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Ms. Linda Simic spoke in favor of this SUP. Mr. Randy Bell and Ms. Barbara Brown also spoke in favor of this SUP. Ms Simic indicated that she would be running an adult lounge type establishment that expected mid 30 to mid 60's customers. There would be more alcohol than food sales. Hours would be 11:00am – 2:00am, 7 days a week. The establishment would have live music, open mic, a ping pong table, and smoking. Nobody came and spoke in opposition to this SUP.

Discussion: The commissioner's asked questions concerning safety, noise, light, proximity to the adjacent dance studio and adjoining Jr. High School. Although no one came to speak against this SUP, concerns about the impact to the adjacent neighborhood were discussed. We approved this SUP as presented, but Commission Kushma did request that we consider a 1 year limit on the SUP. The concern being that the Ms. Simic signed a 5 year lease, so the SUP would be in effect until change in ownership. The time limit was not included in the SUP as approved, but something for council to consider in their discussions of this SUP.

**4. Zoning Case Z-210 – Linda Simic SUP to sell alcohol**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and closed with nobody speaking for or against this SUP.

Discussion: The commissioner's did not have any concern about the SUP as the questions and concerns were raised with SUP case Z-209.

**5. Zoning Case Z-211 – Nicole Myers – establish an alcohol beverage establishment**

Action: The commissioners voted unanimously to approve this SUP.

Public Hearings: The hearing opened and Mr. Pat Myers came and spoke in favor of this SUP. He indicated that they would be adding additional space to the existing Dr. Jeckyll's Beer lab. They would be serving food, and alcohol in addition to the existing homebrew ingredients that they sell. Mr. Myers expected more food sales than liquor sales. The hours of operation would be early hours, they would close at midnight. Some nights earlier depending on business.

Discussion: The commissioner's asked questions concerning safety, noise, and the location near the existing snow cone establishment. No commissioner had any concerns about the answers to any questions.

Any questions or concerns about this summary, please feel free to contact me at any time.

Stephen Smith  
Chairman

**ORDINANCE NO. 14-742**

**AN ORDINANCE OF THE TOWN OF PANTEGO AUTHORIZING A SPECIAL USE PERMIT Z-202, ISSUED TO PATRICK N MYERS FOR THE USE OF SALES OF ALCOHOLIC BEVERAGE FOR OFF-PREMISE AND ON-PREMISE CONSUMPTION AT AN EXISTING BUSINESS LOCATED AT 2420 WEST PARK ROW DRIVE, TRACT 1A5B OF THE WILLIAM J BARRY SURVEY, PANTEGO, TARRANT COUNTY, TEXAS; AND DECLARING AN EFFECTIVE DATE.**

**WHEREAS**, the Town of Pantego, Texas is a Type A General Law municipality located in Tarrant County, Texas, created in accordance with provisions of Chapter 6 of the Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

**WHEREAS**, Chapter 14, Section 14.02.513(20) of the Town of Pantego Municipal Code allows for an exception of any food store for the sale of alcoholic beverages for off-premise consumption; and

**WHEREAS**, Chapter 14, Section 14.02.513 (7) of the Town of Pantego Municipal Code allows for an exception for the sale of alcoholic beverages for on-premises consumption; and

**WHEREAS**, the Planning and Zoning Commission as required by Chapter 211 of the Texas Local Government Code has duly published a Notice of Public Hearing in the Fort Worth Commercial Recorder, the official newspaper for the Town of Pantego on June 27, 2014; and

**WHEREAS**, the Planning and Zoning Commission has received and reviewed the application from Patrick N. Myers and has determined that it complies with all requirements for the Special Use Permit; and

**WHEREAS**, the Commissioners recommended approval of this application at their regularly scheduled meeting on July 7, 2014; and

**WHEREAS**, the Town Council by affirmative vote of four of its members may by ordinance authorize special use permits; and

**WHEREAS**, presentation of this ordinance at a meeting preceding the meeting at which the ordinance is enacted places an undue burden in administrative time and expense to the Town, and as reflected by the vote of two-thirds of the Councilmember's present, the requirements of Section 1.03.035(b) are hereby waived.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS:**

**SECTION 1:**

The Town Council authorizes the Special Use Permit, acknowledging the distance variance requirements, for the sale of alcohol on-premises and off-premises located at:

Tract 1A5B of the William J. Barry Survey, Pantego, Tarrant County, Texas  
2420 West Park Row Drive, Pantego, Texas

As requested by Patrick N. Myers.

**SECTION 2:**

This Special Use Permit shall be contingent upon the transfer of ownership from Patrick N. Myers to Nicole Lee Myers, and shall from that time forward expire upon change of ownership or occupancy.

**SECTION 3:  
PROVISIONS CUMULATIVE**

This ordinance shall be cumulative of all provisions of the ordinances of the Town of Pantego, Texas, as amended, except where the provisions of this ordinance are in direct conflict with the provisions of such Ordinances, in which event the conflicting provisions of such Ordinances are hereby repealed.

**SECTION 4:  
EFFECTIVE DATE**

This ordinance shall be in full force and effect from and after its passage and publication as provided by law, and it is so ordained.

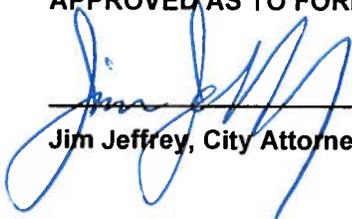
**PASSED AND APPROVED AFTER WAIVER OF THE REQUIREMENTS OF TOWN CODE SECTION 1.03.035(b) THIS THE 14<sup>th</sup> DAY OF July 2014 BY A VOTE OF 5 AYES, 0 NAYS, AND 0 ABSTENTIONS, AT A REGULAR MEETING OF THE TOWN COUNCIL OF THE TOWN OF PANTEGO, TEXAS.**

  
Melody Paradise, Mayor

**ATTEST:**

  
Julie Arrington, City Secretary

**APPROVED AS TO FORM:**

  
Jim Jeffrey, City Attorney





Town of Pantego  
1614 S. Bowen Rd., Pantego, TX 76013  
(817)274-1381 or (817)265-1375 Fax

### APPLICATION FOR A SPECIAL USE PERMIT

#### APPLICANT

If applicant is NOT owner of property, Agent Authorization Form must be completed.

Name: Nicole Myers Date: 4/17/15

Address: 1712 Seseu St  
Street Address

Arlington Tx 76013  
City State Zip

Phone: 817 501-7336 Email: beatfreek@sbcglobal.net

Applicant Status:  Owner  Tenant  Purchaser  Other

#### PROPERTY DEVELOPMENT INFORMATION

Address: 2416 W Park Row dr, Pantego, Tx 76013

Legal Description:

Property is subdivided: Addition: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_

Property is not subdivided: Survey: \_\_\_\_\_

Abstract#: \_\_\_\_\_ Tract: \_\_\_\_\_

Existing Classification: C-3

Developer: _____	Agent: _____
Address: _____	Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone/Fax: _____	Phone/Fax: _____
Surveyor: _____	Engineer: _____
Address: _____	Address: _____
City/State/Zip: _____	City/State/Zip: _____
Phone/Fax: _____	Phone/Fax: _____

Present use of the property: Store/Bar

Proposed use of the property: Store/Bar

Status of development plans:  None  Site Plans Complete  Building Plans Complete



**ACKNOWLEDGMENTS**

I certify that the above information is correct and complete to the best of my knowledge and ability and that I am now or will be fully prepared to present the above proposal at the Planning and Zoning Commission hearing thereon. I understand that if any of the above information is found to be wrong or inaccurate that my application may be removed from consideration prior to the time the application is voted upon by the governing body of the Town. I further acknowledge that attesting to inaccurate or false information on this zoning application can result in conviction of a misdemeanor and fine not to exceed \$2,000.

I understand that in the event the undersigned is not present or represented at the public hearing the Planning and Zoning Commission shall have the power to dismiss this proposal either at the call of the case or after hearing, and such dismissal shall constitute a denial by both the Planning and Zoning Commission and the Town Council.

I reserve the right to withdraw this proposal at any time, except during notice periods, upon written request filed with the Town Secretary, and such withdrawal shall immediately stop all proceedings thereon; provided, however, withdrawal filed at any time after the giving of notice of the Planning and Zoning Commission hearing shall constitute a denial by the Commission and the Town Council. I understand that the filing fee is not refundable upon withdrawal of the proposal.

Applicant: Mike J. Mc Date: 4/17/15

State of Texas )  
County of ) Tarrant

Sworn and subscribed before me the undersigned notary public this the 17<sup>th</sup> day of April 20 15

Angela Lynch  
Notary Public



Commission Expires: Nov 10, 2015  
Seal:

**OFFICE USE ONLY**

Application Checklist:

- Complete application form
- Agent Authorization Form (if necessary)
- Application Fee
- Site Plan
- Additional Submittals Information

Application accepted by: Chad Joyce Date: 4-17-15

Checked for completeness: ✓ Fee Paid: ✓ Receipt No.: 104020

Remarks: \_\_\_\_\_

Set for P&Z: May 4<sup>th</sup> Set for Council: May 11<sup>th</sup>



## ADDITIONAL SUBMITTAL INFORMATION

- Any final environmental assessment and/or final environmental impact statement that may be required pursuant to state or federal statutes
- Copies of studies or analyses upon which have been based projections for need or demand for the proposed facility
- Copies of studies or analysis upon which alternatives have been considered and evaluated
- Description of present use, assessed value & actual value of the land affected by the proposed facility
- Description of the proposed use, anticipated assessed value and supporting documentation
- Description of any long term plans or master plan for the future use or development of the property
- Description of the applicant's ability to obtain needed easements to serve the proposed use
- Description of the type, feasibility and cost of any proposed mitigation necessary to make the proposed use compatible with current and future land use patterns
- Description of any special construction requirements that may be necessary for any construction or development on the subject property
- If the proposed use will result in a significant increase in traffic, a traffic impact analysis prepared by a certified professional engineer qualified in the field of traffic engineering and forecasting
- A noise management plan detailing the projected noise produced by the proposed use, including, but not limited to, the projected noise volume and duration, and the noise mitigation measures proposed to be implemented



Outside area

New wall

20 ft

20 ft

Side gate

Fire lane

Mom's

Seating

Seating Area

New wall

New door

Restrooms

Storage

Office

Bar

Walk in

Home Brew Shop

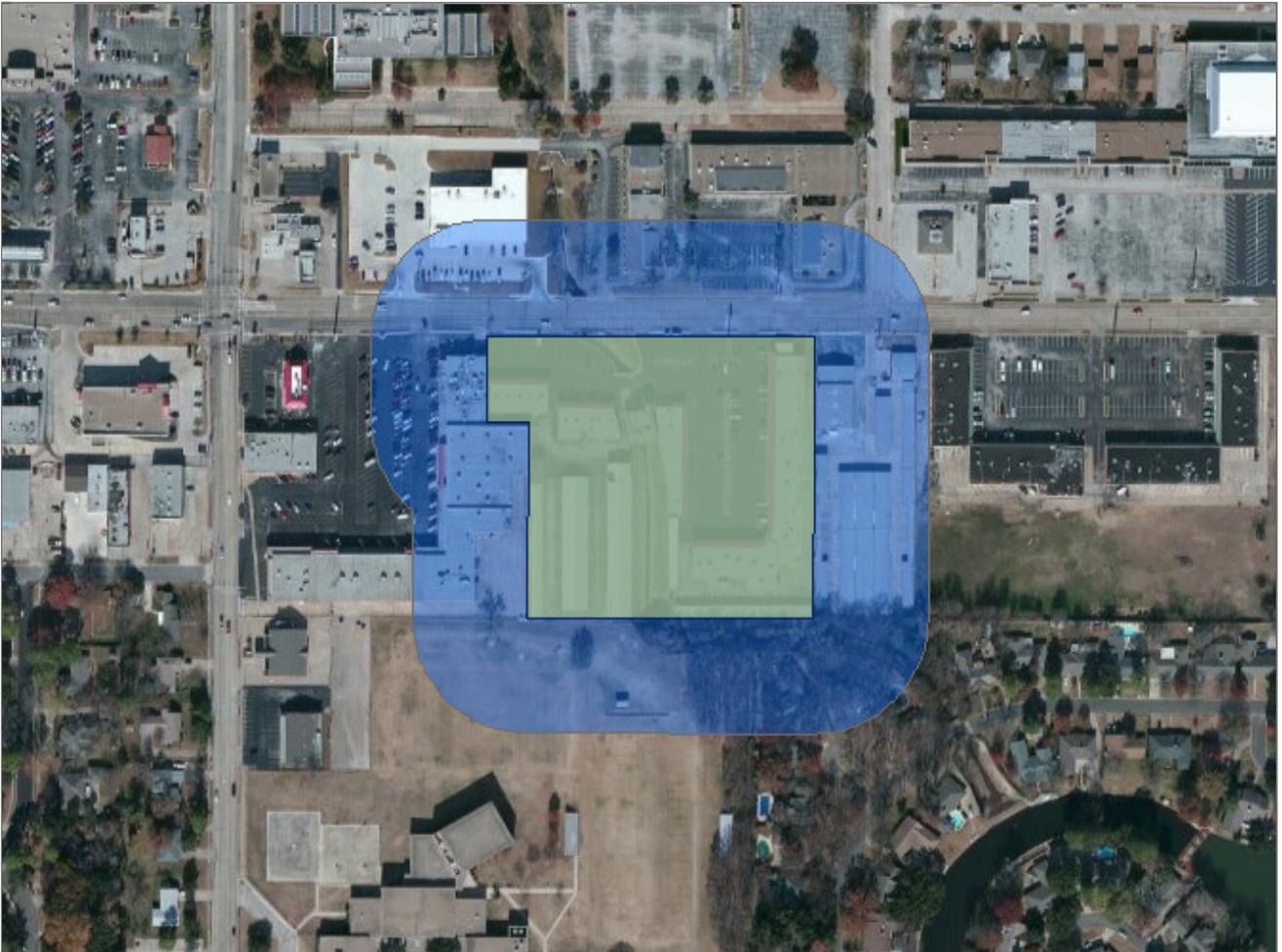
Storage

Old wall

Cabinets  
Refrigerator

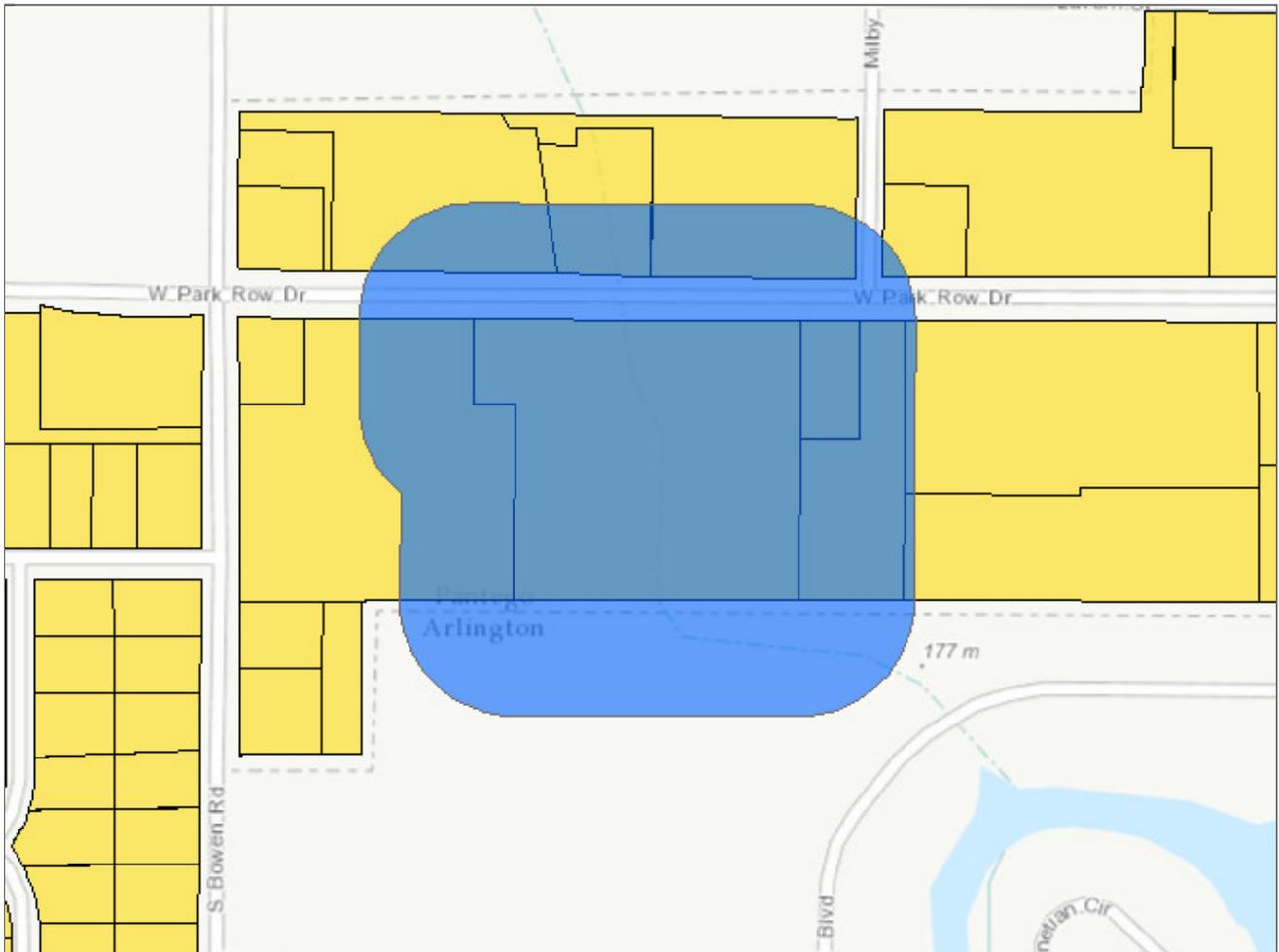


# Parcel Map



DigitalGlobe, GeoEye, Microsoft

# Parcel Map



Esri, HERE, DeLorme, Intermap, iPC, USGS, USDA, EPA

## NOTIFICATION LIST, Z-211

LOCATION	OWNER	STREET ADDRESS	CITY	STATI	ZIP CODE	LEGAL 1	LEGAL 2
2301 W Park Row Dr	BOMAC Partners, Ltd.	1110 W State Hwy 114 #200	SLK	TX	76092-5250	Westbury Square Addn	Blk 1 Lot 4R
2417 W Park Row Dr	Aldi (Texas) LLC	2500 Westcourt Rd	DEN	TX	76207-4532	Westbury Square Addn	Blk 1 Lot 2R
2302 W Park Row Dr	Kindred Glass Co	2302 W Park Row Dr	PAN	TX	76013-3301	Barry, William J Survey	A 155 Tr 1A02A 1A2B
2401 W Park Row Dr	Mercantile Bank	2401 W Park Row Dr	PAN	TX	76013-3392	Westbury Square Addn	Blk 1 Lot 3R
2304 W Park Row Dr	Farrell Property Co Ltd	2304 W Park Row Dr #7	PAN	TX	76013-3347	Barry, William J Survey	Abst 155 Trs 1A3 1A3A 1A3B
1517 S Bowen Rd	4D-Jkl Corporation	3100 W Arkansas Ln #103	ARL	TX	76016-5871	Barry, William J Survey	A 155 Tr 1A01A
2233 W Park Row Dr	S&D Family Partners LP	2227 W Park Row Dr (A)	PAN	TX	76013-3485	Park's, G W Subdivision	Blk 10 Lot 1
2220 W Park Row Dr	Walker, Robert A	PO Box 13933	ARL	TX	76094-0933	Village Park Addition-Pantego	Blk 1 Lot 2R
2220 W Park Row Dr	Village Park Investments LP	670 W Arapaho Rd	RICH	TX	75080-4200	Village Park Addition-Pantego	Blk 1 Lot 1R1
2215 Briarwood Blvd	Andrew & Jennif Novoselsky	2215 Briarwood Blvd	ARL	TX	76013-3317	Lakewood Addition - Arlington	Block 1, Lot 12
2301 Briarwood Blvd	Amy Jo Leisure	2301 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington	Block 1, Lot 11
2303 Briarwood Blvd	Andre J & Camilla C Carter	2303 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington	Block 1, Lot 10
2305 Brairwood Blvd	Wanda F Ball	2305 Brairwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington	Block 1, Lot 9
2307 Briarwood Blvd	Hildegard M Williams	2307 Briarwood Blvd	ARL	TX	76013-3319	Lakewood Addition - Arlington	Block 1, Lot 8
2411 Winewood Ln	Arlington Independent School District	1203 W Pioneer Pkwy	ARL	TX	76013	W J Barry Addition	Lot 1

ABBREVIATION	CITY
SLK	SOUTHLAKE
DEN	DENTON
PAN	PANTEGO
ARL	ARLINGTON
RICH	RICHARDSON



# AGENDA BACKGROUND

**AGENDA ITEM:** Discuss, direct, and consider action on a mid-year Budget Adjustment to the 2014/15 PEDC Budget.

**Date:** May 11, 2015

**PRESENTER:**

Matt Fielder, City Manager

**BACKGROUND:**

The PEDC Board voted at their March 25<sup>th</sup> meeting to amend their budget by setting aside \$80,000 for improvements to Bicentennial Park. Those improvements would include resurfacing the playground areas, painting, and other maintenance. The source of the funds was unallocated revenues and funds set aside for incentive projects. State law requires that Corporations declare a project sixty days prior to expending any funds. During that period, they are also required to hold a public hearing. The sixty day period begins with the publishing of a notice in the Town's newspaper of record. The notice was published on March 30<sup>th</sup> and the public hearing held on April 8<sup>th</sup>. No public comments were received.

The budget adjustment is being presented for Council's consideration in accordance with state law and the Corporation's bylaws.

**FISCAL IMPACT:**

\$80,000

**RECOMMENDATION:**

Staff recommends the approval of the budget amendment.

**ATTACHMENTS:**

Budget Amendment

Director's Review: \_\_\_\_\_  
City Manager's Review: MDF

**PANTEGO ECONOMIC DEVELOPMENT CORPORATION  
BUDGET ADJUSTMENT FORM**

TO: PEDC Board of Directors

SUBJECT: BUDGET ADJUSTMENT

DATE: March 25, 2015

**FROM:**

<u>FUND</u>	<u>DEPARTMENT/ACCOUNT</u>	<u>AMOUNT</u>
PEDC Project Fund	Unidentified Projects	\$23,696

**TO:**

<u>FUND</u>	<u>DEPARTMENT/ACCOUNT</u>	<u>AMOUNT</u>
PEDC Project Fund	Bicentennial Park Project	\$56,304
PEDC Project Fund	Bicentennial Park Project	\$23,696

**NET EFFECT:**

<u>FUND</u>	<u>DEPARTMENT/ACCOUNT</u>	<u>AMOUNT</u>
PEDC Project Fund	Unidentified Projects	- \$ 23,696
PEDC Project Fund	Bicentennial Park Project	\$ 80,000
Total expenditure increase		<u>\$ 56,304</u>

**JUSTIFICATION**

Budget adjustment in the amount of \$80,000 for Bicentennial Park Improvements.

**APPROVED BY:**

PEDC Board President: 

Date: 3/25/2015

PEDC Board Treasurer: 

Date: 3/25/15